

PROJECT PARCEL SITE  
 AUGUSTA TAX ASSESSOR'S MAP & LOT NUMBERS  
 MAP 46 LOT 8

# HODGKINS SCHOOL APARTMENTS

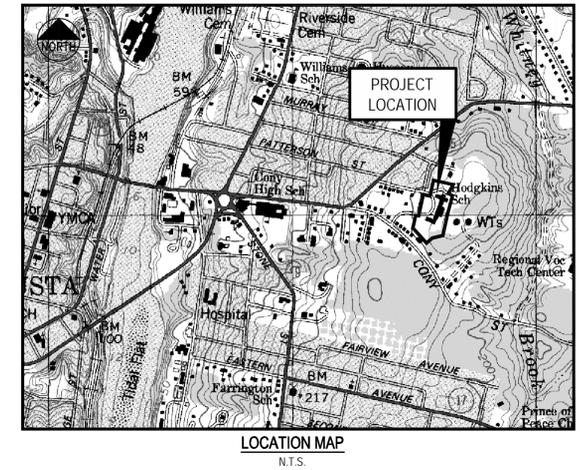
## DEVELOPERS COLLABORATIVE

### PREDEVELOPMENT, LLC / AUGUSTA HOUSING AUTHORITY

#### 17 MALTA STREET AUGUSTA, MAINE

## PERMIT DOCUMENT

### 11 JULY 2014



**APPLICANT/DEVELOPER:**  
 DEVELOPERS COLLABORATIVE  
 PREDEVELOPMENT, LLC  
 IN ASSOCIATION WITH AUGUSTA  
 HOUSING SERVICE CORPORATION  
 17 CHESTNUT STREET  
 PORTLAND, ME 04101  
 ATTN: KEVIN BUNKER

**CURRENT PROPERTY OWNER:**  
 CITY OF AUGUSTA  
 CITY CENTER PLAZA  
 16 CONY STREET  
 AUGUSTA, ME 04330

**PREPARED BY**  
**CIVIL ENGINEER:**  
 Fay, Spofford & Thorndike  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, MAINE 04106  
 207.775.1121  
 ATTN: STEPHEN R. BUSHEY, P.E.  
 sbushey@delucahoffman.com

**SURVEYOR:**  
 E.S. Coffin Engineering & Surveying  
 432 CONY ROAD  
 P.O. BOX 4687  
 AUGUSTA, MAINE 04330  
 207.623.9475

**ARCHITECT:**  
 Archetype  
 48 UNION WHARF  
 PORTLAND, MAINE 04101  
 207.772.6022  
 ATTN: DAVID LLOYD

**MECHANICAL ENGINEER:**  
 Kurt Magnusson  
 10 FOREST FALLS DRIVE #10  
 YARMOUTH, MAINE 04096-4900  
 207.846.1441

**ELECTRICAL ENGINEER:**  
 Bartlett Design  
 942 WASHINGTON STREET  
 BATH, MAINE 04530  
 207.443.5447  
 ATTN: LARRY BARTLETT

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**UTILITIES**

**SEWER**  
 GREATER AUGUSTA UTILITY DISTRICT  
 12 WILLIAMS STREET  
 AUGUSTA, MAINE 04330  
 MICHAEL MOREY  
 (207) 622-3701

**WATER**  
 GREATER AUGUSTA UTILITY DISTRICT  
 12 WILLIAMS STREET  
 AUGUSTA, MAINE 04330  
 MICHAEL MOREY  
 (207) 622-3701

**ELECTRIC**  
 CENTRAL MAINE POWER  
 162 CANCO ROAD  
 PORTLAND, MAINE 04103  
 GARY CRABTREE  
 (207) 828-2860

**TELEPHONE**  
 FAIRPOINT COMMUNICATIONS  
 139 STATE STREET  
 AUGUSTA, MAINE 04330  
 JIM SCHEID  
 (207) 623-2031

**DIG SAFE**  
 1-800-922-4455  
 (72 Hours prior to start of construction)

**PERMITS**

**TYPE OF PERMIT**  
 SITE PLAN APPLICATION /  
 SUBDIVISION APPLICATION

BUILDING PERMIT

**GOVERNING BODY**

CITY OF AUGUSTA PLANNING DEPARTMENT  
 CITY CENTER PLAZA  
 AUGUSTA, MAINE 04330  
 ATTN: MATT NAZAR

CITY OF AUGUSTA CODE ENFORCEMENT OFFICE  
 CITY CENTER PLAZA  
 AUGUSTA, MAINE 04330  
 ATTN: GARY FULLER

**STATUS**

PRELIMINARY SITE PLAN APPLICATION ON JULY 11, 2014

TO BE SUBMITTED BY CONTRACTOR  
 PRIOR TO CONSTRUCTION

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.



Prepared For: AUGUSTA HOUSING SERVICE CORPORATION 353 WATER STREET AUGUSTA, MAINE 04330	Project: HODGKINS SCHOOL APARTMENTS AUGUSTA, ME 17 MALTA STREET AUGUSTA, MAINE	Revisions:
Architect: <b>ARCHETYPE</b> architects 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Date: 11 JULY 2014	Scale: 07.11.14 Site Plan Submission
COVER SHEET		<b>C-1.0</b>

**GENERAL NOTES**

- TOPOGRAPHIC DATA IS BASED ON A GROUND SURVEY CONDUCTED BY E.S. COFFIN, AUGUSTA, MAINE. BOUNDARY INFORMATION IS BASED ON GROUND SURVEY CONDUCTED BY E.S. COFFIN.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND THE SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, PAVING, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE POINTS.
- ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.

**PERMITTING NOTES**

- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF THE SITE PLAN REVIEW PERMIT FROM THE CITY OF AUGUSTA WHICH WILL BE MADE A PART OF THE CONTRACT BID DOCUMENTS. THE CONSTRUCTION WILL BE GOVERNED BY THE ZONING ORDINANCES WHICH ARE AVAILABLE FOR VIEWING AT THE OFFICE OF THE ENGINEER OR THE MUNICIPAL OFFICE.
- THE CONTRACTOR SHALL REVIEW THE ABOVE-REFERENCED PERMITS PRIOR TO SUBMITTING A BID FOR THIS PROJECT, AND INCLUDE COSTS AS NECESSARY TO COMPLY WITH THE CONDITIONS OF THESE PERMITS.

**LAYOUT NOTES**

- ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB OR BUILDING.
- ALL SIGNS INDICATED ON THE LAYOUT PLANS ARE TO MEET ALL REQUIREMENTS AND STANDARDS OF THE MAINE DEPARTMENT OF TRANSPORTATION AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- COORDINATES FOR CATCH BASIN AND MANHOLES ARE TO THE CENTER OF THE FRAME.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- PROPERTY LINE AND R.O.W. MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS, AT THE CONTRACTOR'S EXPENSE, BY A MAINE PROFESSIONAL LAND SURVEYOR.
- PROPOSED RIGHT-OF-WAY MONUMENTS AND PROPERTY LINE PINS SHALL BE INSTALLED UNDER THE DIRECTION OF A MAINE PROFESSIONAL LAND SURVEYOR.
- ALL HANDICAP PARKING SPACES ARE TO RECEIVE HANDICAP SIGNS AND PAVEMENT MARKINGS AS ILLUSTRATED ON THE DETAIL SHEETS. UNLESS OTHERWISE NOTED, ALL ON-SITE CURB SHALL BE GRANITE AND CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

**GRADING AND DRAINAGE NOTES**

- UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603 - PIPE CULVERTS AND STORM DRAINS, LATEST REVISION, WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:  
 REINFORCED CONCRETE PIPE  
 POLYVINYL CHLORIDE (PVC) PIPE  
 SMOOTH BORE POLYETHYLENE PIPE
- THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.

**UTILITY NOTES**

- ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO AUGUSTA WATER DISTRICT STANDARDS. ALL WATER FIRE LINE AND DOMESTIC PIPING 4" OR GREATER DIAMETER DISTRIBUTION PIPING SHALL BE CLASS 52 DUCTILE IRON PIPE, DOUBLE CEMENT LINED AND BITUMINOUS COATED CONFORMING TO AWWA/ANSI C104/A21.4. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
- THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL BE PLACED ON THE WATER DISTRIBUTION LINES AT ALL BENDS, TEES, FIRE HYDRANTS, VALVES, CHANGES IN DIRECTION, ETC.. THE THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL MEET THE REQUIREMENTS OF THE AUGUSTA WATER DISTRICT STANDARDS.
- THE LOCATION OF THE PROPOSED OVERHEAD AND UNDERGROUND ELECTRICAL SERVICE AND COMMUNICATIONS SERVICES IS APPROXIMATE AND THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION WITH THE ELECTRICAL PLANS PREPARED BY THE ELECTRICAL CONSULTANT, CENTRAL MAINE POWER AND OTHER SERVICING UTILITY COMPANIES. ALL UNDERGROUND ELECTRICAL SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH CENTRAL MAINE POWER'S HANDBOOK OF REQUIREMENTS.
- THE CITY OF AUGUSTA SHALL BE NOTIFIED FOR SEWER INSPECTIONS. ALL SEWER UTILITY MATERIALS AND INSTALLATION METHODS SHALL BE ACCEPTABLE TO THE CITY OF AUGUSTA SANITARY DISTRICT. WHERE CONFLICTS MAY EXIST BETWEEN THE PLANS, SPECIFICATIONS AND UTILITY PROVIDER REQUIREMENTS THE MORE STRINGENT STANDARD SHALL APPLY AT NO EXTRA EXPENSE TO THE OWNER.
- THE DOMESTIC WATER METER SHALL BE INSTALLED WITHIN THE BUILDING WITH A REMOTE READER INSTALLED ON THE BUILDING AT THE ENTRANCE POINTS. THE DOMESTIC WATER SERVICE LINE SHALL HAVE GATE VALVES INSTALLED OUTSIDE THE BUILDINGS.
- A BACKFLOW PREVENTER DEVICE (DETECTOR DOUBLE CHECK VALVE) ACCEPTABLE TO AUGUSTA WATER DISTRICT SHALL BE INSTALLED ON THE SPRINKLER RISER INSIDE THE BUILDINGS.
- COLOR FOR LIGHT POLES AND FIXTURES SHALL BE BLACK.
- SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS FOR SDR-35 FOR GRAVITY PIPE.
- PRIOR TO BEGINNING UTILITY WORK WITHIN R/W OF MALTA STREET OR ON SITE IF NECESSARY, THE CONTRACTOR SHALL EXCAVATE TEST PITS TO DETERMINE LOCATION AND ELEVATION OF EXISTING UTILITIES.

**EROSION CONTROL NOTES**

- LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE MOST PRACTICAL LEAST DISTURBANCE OF THE SITE.
- PRIOR TO BEGINNING ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER SILT FENCE(S) OR EROSION CONTROL MIX BERM(S) AND THE CONSTRUCTION ENTRANCE(S) AS NECESSARY.
- SILT FENCES AND/OR SEDIMENT BARRIERS SHALL BE INSPECTED, REPAIRED AND CLEANED AS NECESSARY.
- THE CONTRACTOR SHALL REPAIR AND ADD STONE TO THE CONSTRUCTION ENTRANCE AS IT BECOMES SATURATED WITH SEDIMENT TO ENSURE THAT IT WORKS AS PLANNED DURING CONSTRUCTION.
- THE CONTRACTOR IS CAUTIONED THAT FAILURE TO COMPLY WITH THE SEQUENCE OF CONSTRUCTION, TO IMPLEMENT ADEQUATE EROSION/SEDIMENT CONTROL MEASURES, AND OTHER PERMIT REQUIREMENTS MAY RESULT IN MONETARY PENALTIES. THE CONTRACTOR SHALL BE ASSESSED ALL SUCH PENALTIES AT NO COST TO THE OWNER OR PERMITTEE.
- ALL NON-PAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE LANDSCAPED PER THE LANDSCAPE PLAN, UNLESS OTHERWISE DIRECTED BY THE OWNER.

**LANDSCAPE NOTES**

- ALL PLANT MATERIALS SHALL MEET THE STANDARDS AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL TREES ARE TO BE GUYED AND STAKED PER THE DETAIL. ALL TREES, SHRUB BEDS, ETC., ARE TO BE MULCHED WITH 4" OF SHREDDED HARDWOOD BARK MULCH.
- ALL DISTURBED AREAS EXCEPT ROCK TO REMAIN EXPOSED ARE TO RECEIVE A MINIMUM OF 6" OF TOPSOIL PRIOR TO PERMANENT SEEDING.
- SUBSTITUTIONS TO THE PLANTING PLAN MUST BE APPROVED BY THE LANDSCAPE ARCHITECT AND THE CITY OF AUGUSTA.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
	BUILDING	
	PROPERTY LINE	
	SETBACK	
	RETAINING WALL	
	CURBING (SEE DRAWING FOR TYPES)	
	EDGE OF PAVEMENT	
	EDGE OF GRAVEL DRIVE	
	GRADING CONTOUR LINE	
	SPOT ELEVATION	
	GUARD POST/BOLLARD	
	POLE WITH LIGHT FIXTURE(S)	
	UTILITY POLE	
	FREESTANDING SIGN	
	BARRIER FREE PARKING SYMBOL	
	PEDESTRIAN CROSSWALK	
	PAINTED DIRECTIONAL TRAFFIC ARROW	
	OVERHEAD ELECTRIC/TELEPHONE	
	UNDERGROUND ELECTRIC/TELEPHONE	
	WATER LINE	
	SEWER LINE	
	GAS LINE	
	STORM DRAIN LINE	
	CULVERT	
	HYDRANT	
	WATER GATE VALVE	
	WATER SHUT OFF VALVE	
	SEWER MANHOLE	
	DRAIN MANHOLE	
	CATCH BASIN	
	NYLOPLAST DRAIN BASIN	
	STONE WALL	
	TREELINE	
	TREES/LANDSCAPING	
	RIPRAP	
	SILT FENCE	
	CHAIN LINK FENCE	
	WOOD FENCE	
	CB SEDIMENT BARRIER	
	TRANSFORMER PAD	
	GENERATOR PAD	
	CENTER LINE	
	TEST PIT	
	IRON ROD (FOUND)	
	IRON PIPE (FOUND)	
	DRILL HOLE IN LEDGE	
	GRANITE MONUMENT (FOUND)	
	FOUNDATION DRAIN	
	PIPE RAIL FENCE	

ZONING DISTRICT - MEDIUM DENSITY RESIDENTIAL - RB1		
DIMENSIONAL REQUIREMENT	REQUIRED	PROPOSED
LOT AREA PUBLIC SEWER	7,500 SQUARE FEET	272,250 SQUARE FEET
LOT AREA PRIVATE SEWER	20,000 SQUARE FEET	N/A
LOT AREA PER DWELLING UNIT	2,500 SQUARE FEET	5,792 SQUARE FEET (FOR 47 UNITS)
LOT FRONTAGE	75 FEET	293 FEET±
LOT DEPTH	100 FEET	370 FEET±
FRONT SETBACK	SEE SECTION 5.1.16	25 FEET
SIDE AND REAR SETBACK:		
PRINCIPAL STRUCTURE	10 FEET	60 FEET±
ACCESSORY STRUCTURE	5 FEET	N/A
MIN. FRONTAGE FOR CONVERSION TO TWO (2) OR MORE DWELLING UNITS	50 FEET	> 293 FEET

Prepared For: <b>AUGUSTA HOUSING SERVICE CORPORATION</b>	Project: <b>HODGKINS SCHOOL APARTMENTS AUGUSTA, ME</b>	Revisions:
353 WATER STREET AUGUSTA, MAINE 04330	17 MALTA STREET AUGUSTA, MAINE	07.11.14 Site Plan Submission
Architect: <b>ARCHETYPE architects</b>	Date: 11 JULY 2014	Scale:
48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056		<b>GENERAL NOTES AND LEGEND</b>

**FST** 100 YEARS  
**FAY, SPOFFORD & THORNDIKE**  
 ENGINEERS • PLANNERS • SCIENTISTS  
 778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04106

**C-1.1**



**SURFACE LEGEND**

-  NEW BOX CUT CONSTRUCTION
-  1" PAVEMENT OVERLAY
-  8" - 12" PAVEMENT RECLAIM, REGRADE AND PLACE 3 1/2" NEW ASPHALT
-  REINFORCED CONCRETE SLAB OR SIDEWALK
-  2" BITUMINOUS ASPHALT SIDEWALK

**SURFACE LEGEND**

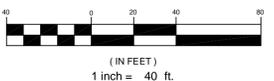
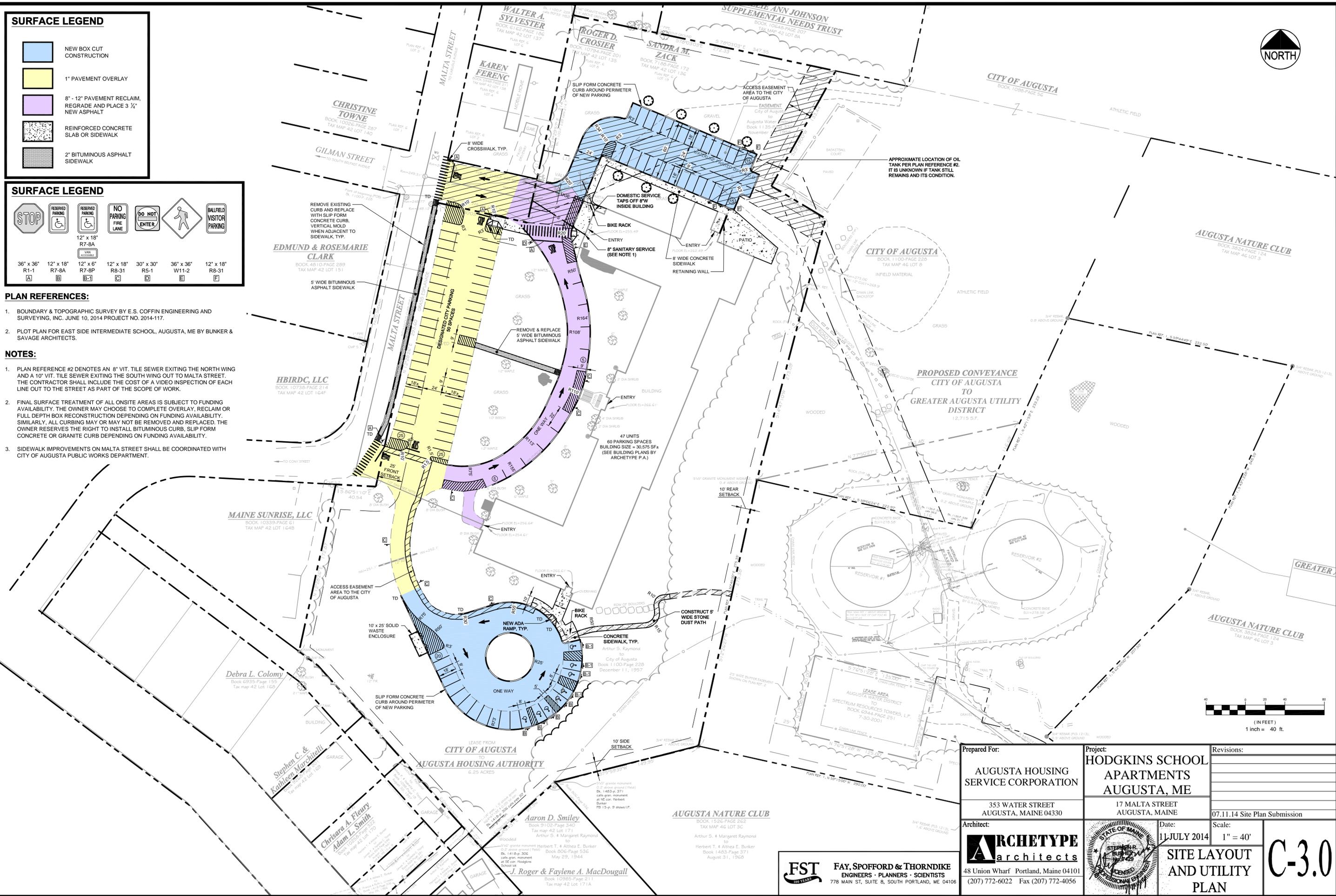
-  STOP
  -  RESERVED PARKING
  -  RESERVED PARKING
  -  NO PARKING FIRE LANE
  -  DO NOT ENTER
  - 
  -  BALLFIELD VISITOR PARKING
- 12' x 18" R7-9A  
36" x 36" R1-1  
12' x 18" R7-8A  
12' x 6" R7-8P  
12' x 18" R8-31  
30' x 30" R5-1  
36" x 36" W11-2  
12' x 18" R8-31

**PLAN REFERENCES:**

- BOUNDARY & TOPOGRAPHIC SURVEY BY E.S. COFFIN ENGINEERING AND SURVEYING, INC. JUNE 10, 2014 PROJECT NO. 2014-117.
- PLOT PLAN FOR EAST SIDE INTERMEDIATE SCHOOL, AUGUSTA, ME BY BUNKER & SAVAGE ARCHITECTS.

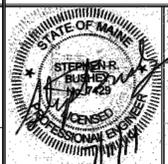
**NOTES:**

- PLAN REFERENCE #2 DENOTES AN 8" VIT. TILE SEWER EXITING THE NORTH WING AND A 10" VIT. TILE SEWER EXITING THE SOUTH WING OUT TO MALTA STREET. THE CONTRACTOR SHALL INCLUDE THE COST OF A VIDEO INSPECTION OF EACH LINE OUT TO THE STREET AS PART OF THE SCOPE OF WORK.
- FINAL SURFACE TREATMENT OF ALL ONSITE AREAS IS SUBJECT TO FUNDING AVAILABILITY. THE OWNER MAY CHOOSE TO COMPLETE OVERLAY, RECLAIM OR FULL DEPTH BOX RECONSTRUCTION DEPENDING ON FUNDING AVAILABILITY. SIMILARLY, ALL CURBING MAY OR MAY NOT BE REMOVED AND REPLACED. THE OWNER RESERVES THE RIGHT TO INSTALL BITUMINOUS CURB, SLIP FORM CONCRETE OR GRANITE CURB DEPENDING ON FUNDING AVAILABILITY.
- SIDEWALK IMPROVEMENTS ON MALTA STREET SHALL BE COORDINATED WITH CITY OF AUGUSTA PUBLIC WORKS DEPARTMENT.

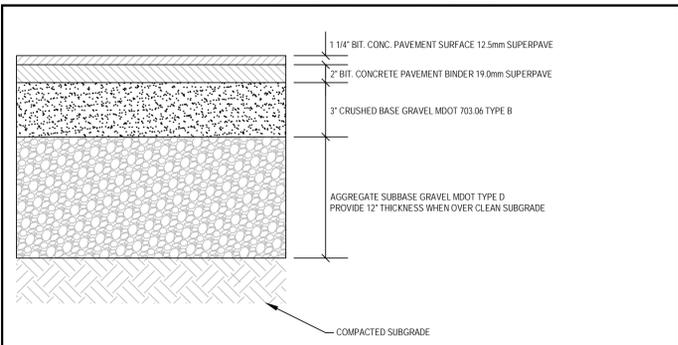


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Architect: <b>ARCHETYPE architects</b> 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Date: 11 JULY 2014	Scale: 1" = 40'
<b>SITE LAYOUT AND UTILITY PLAN</b>		<b>C-3.0</b>

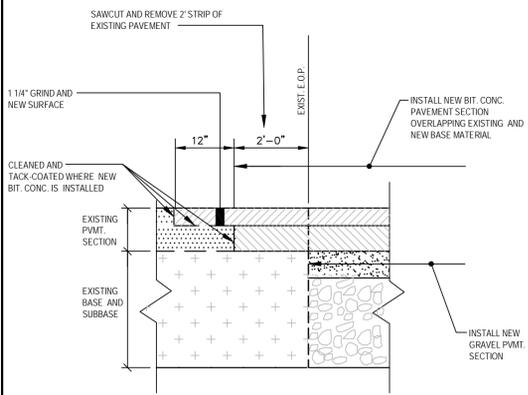
**FST** 100 YEARS  
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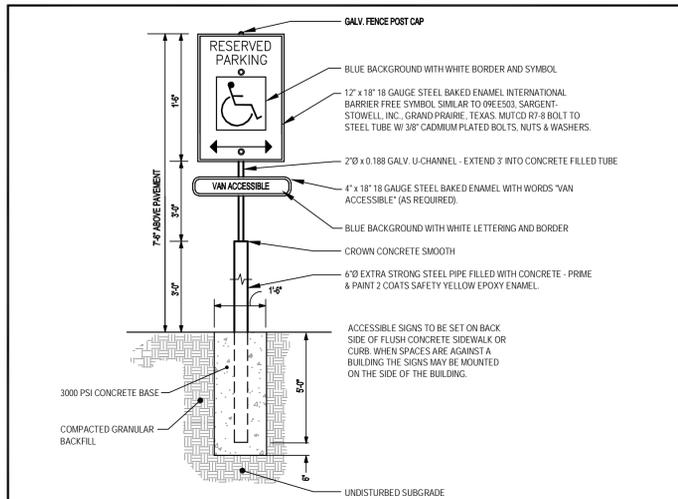
**STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT SECTION**  
N.T.S.



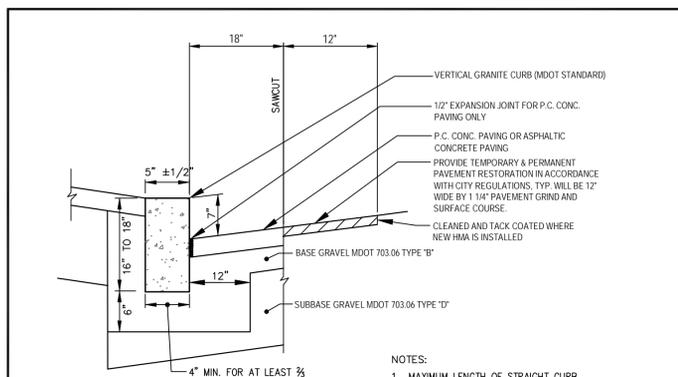
**TYPICAL PAVEMENT SECTION NEW PAVEMENT ADJACENT TO EXISTING PAVEMENT**  
N.T.S.

- NOTES:**
1. APPLY TACK COAT BETWEEN BINDER AND SURFACE COURSES.
  2. ALL MATERIALS SHALL CONFORM TO MDOT SPECIFICATIONS, LATEST REVISION.
  3. COMPACTION OF ALL MATERIALS TO BE IN ACCORDANCE WITH THE MDOT SPECIFICATIONS.

**(A) PAVEMENT SECTIONS**  
N.T.S.

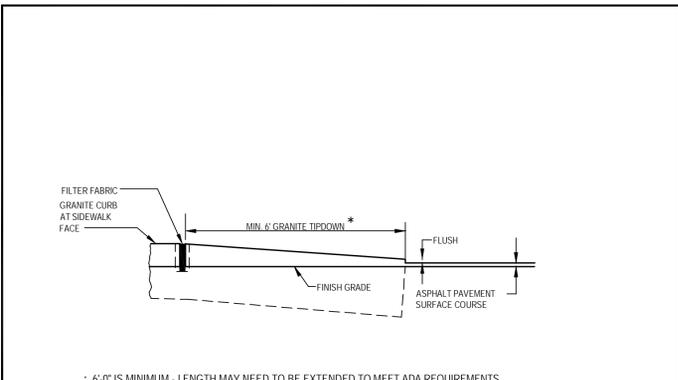


**(C) BARRIER FREE PARKING SIGN DETAIL**  
N.T.S.



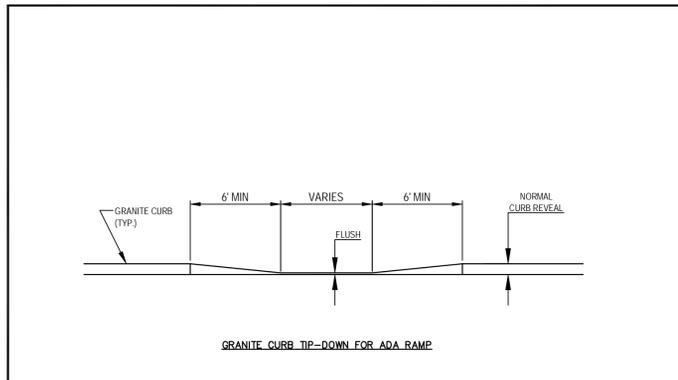
**(D) VERTICAL GRANITE CURB DETAIL**  
N.T.S.

- NOTES:**
1. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8'
  2. MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
  3. CIRCULAR CURB REQUIRED FOR RADIUS LESS THAN 50'
  4. GROUT OR CAULK ALL CURB JOINTS OVER 1/4" IN WIDTH. INSTALL STRIP OF FILTER FABRIC BEHIND EACH CURB JOINT.
  5. USE OF GRANITE CURB IS SUBJECT TO FUNDING AVAILABILITY.



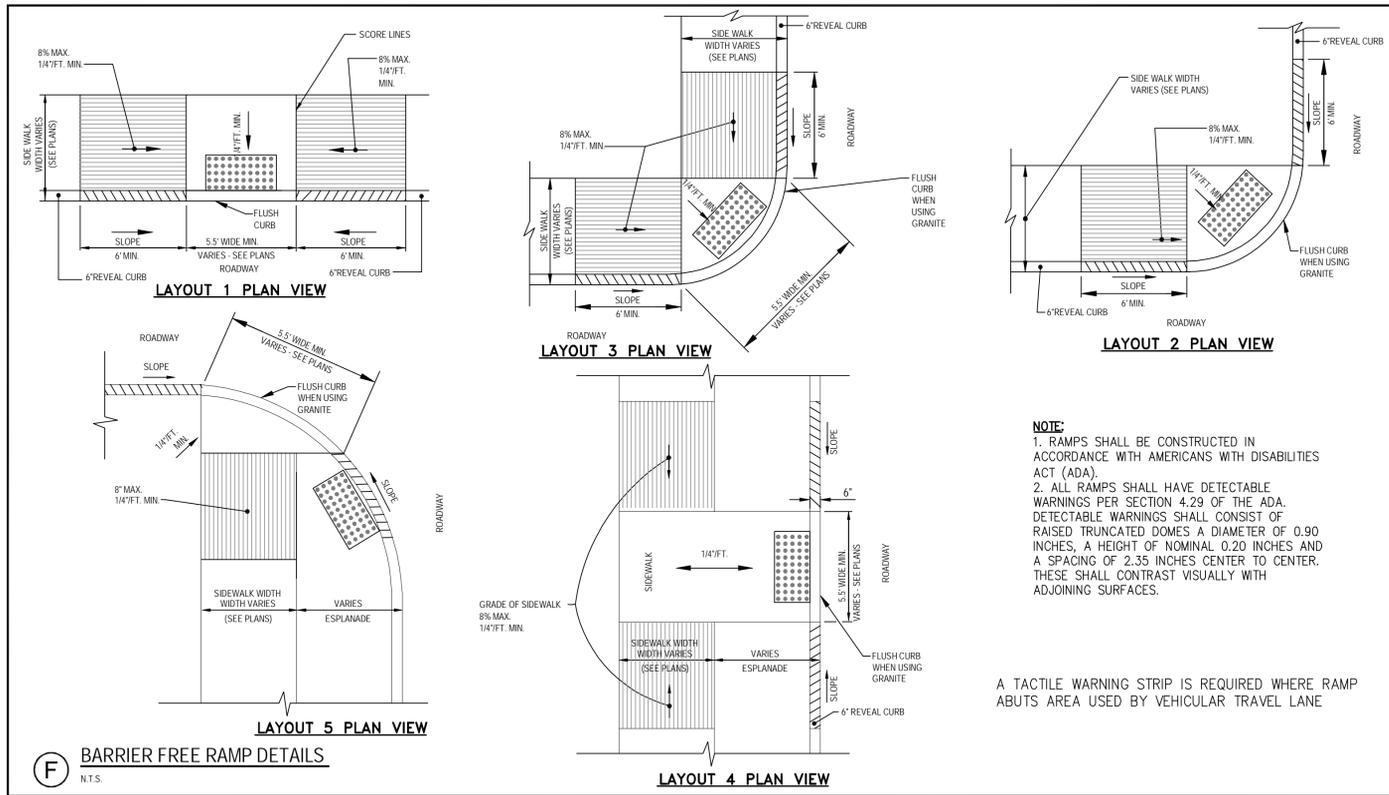
**NOTE**  
USE OF GRANITE CURB IS SUBJECT TO FUNDING AVAILABILITY.

**(B) GRANITE CURB INSTALLATION - TYPICAL TIPDOWN**  
N.T.S.



**NOTE**  
USE OF GRANITE CURB IS SUBJECT TO FUNDING AVAILABILITY.

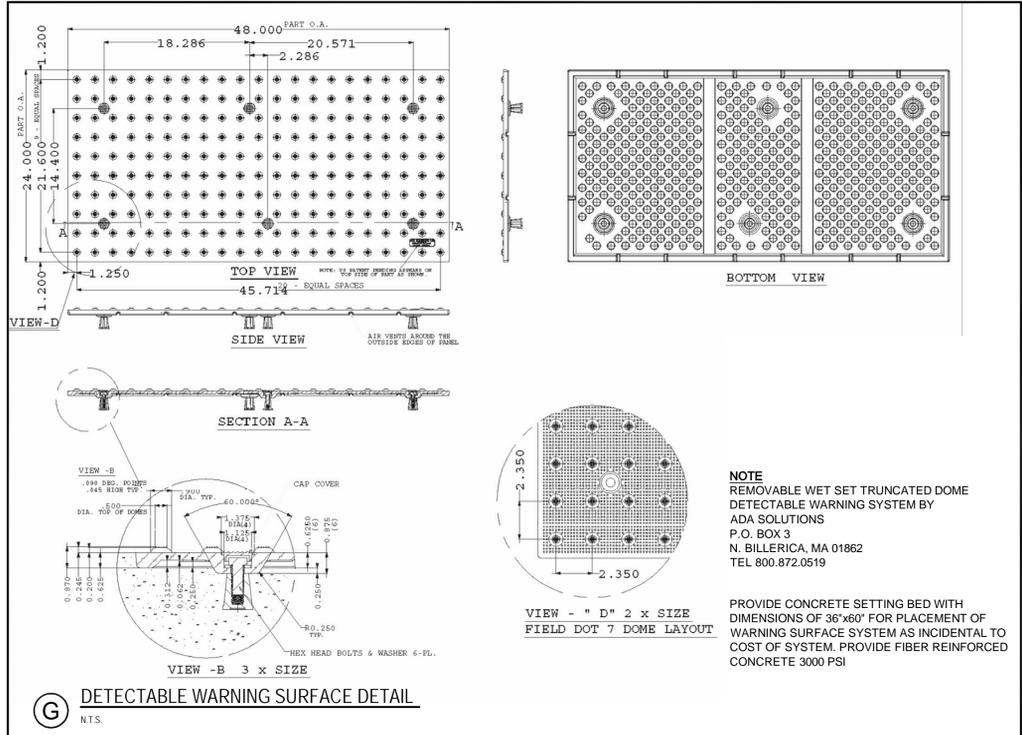
**(E) GRANITE CURB TIP DOWN FOR ADA RAMP DETAIL**  
N.T.S.



**(F) BARRIER FREE RAMP DETAILS**  
N.T.S.

- NOTE:**
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA).
  2. ALL RAMPS SHALL HAVE DETECTABLE WARNING PER SECTION 4.29 OF THE ADA. DETECTABLE WARNING SHALL CONSIST OF RAISED TRUNCATED DOME A DIAMETER OF 0.90 INCHES, A HEIGHT OF NOMINAL 0.20 INCHES AND A SPACING OF 2.35 INCHES TO CENTER. THESE SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.

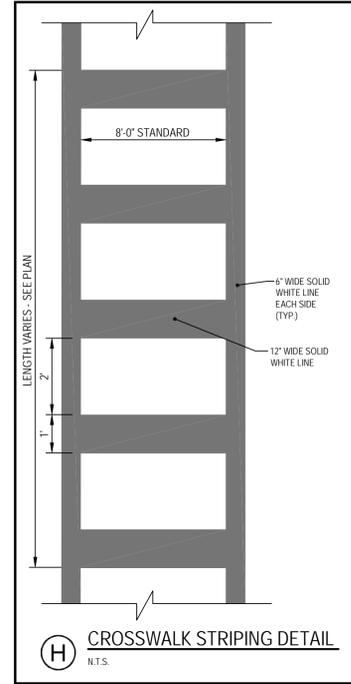
A TACTILE WARNING STRIP IS REQUIRED WHERE RAMP ABUTS AREA USED BY VEHICULAR TRAVEL LANE



**(G) DETECTABLE WARNING SURFACE DETAIL**  
N.T.S.

**NOTE**  
REMOVABLE WET SET TRUNCATED DOME DETECTABLE WARNING SYSTEM BY ADA SOLUTIONS  
P.O. BOX 3  
N. BILLERICA, MA 01862  
TEL 800.872.0519

PROVIDE CONCRETE SETTING BED WITH DIMENSIONS OF 36"x60" FOR PLACEMENT OF WARNING SURFACE SYSTEM AS INCIDENTAL TO COST OF SYSTEM. PROVIDE FIBER REINFORCED CONCRETE 3000 PSI



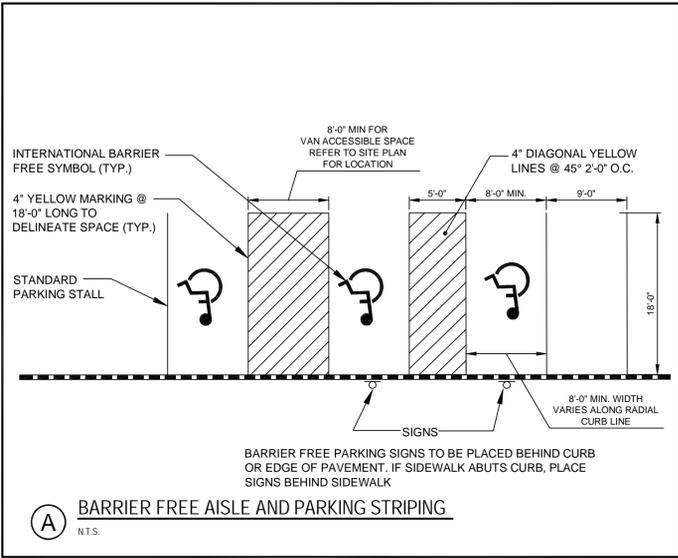
**(H) CROSSWALK STRIPING DETAIL**  
N.T.S.

Prepared For: <b>AUGUSTA HOUSING SERVICE CORPORATION</b> 353 WATER STREET AUGUSTA, MAINE 04330	Project: <b>HODGKINS SCHOOL APARTMENTS AUGUSTA, ME</b> 17 MALTA STREET AUGUSTA, MAINE	Revisions: 07.11.14 Site Plan Submission
Architect: <b>ARCHETYPE architects</b> 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Date: 11 JULY 2014	Scale:

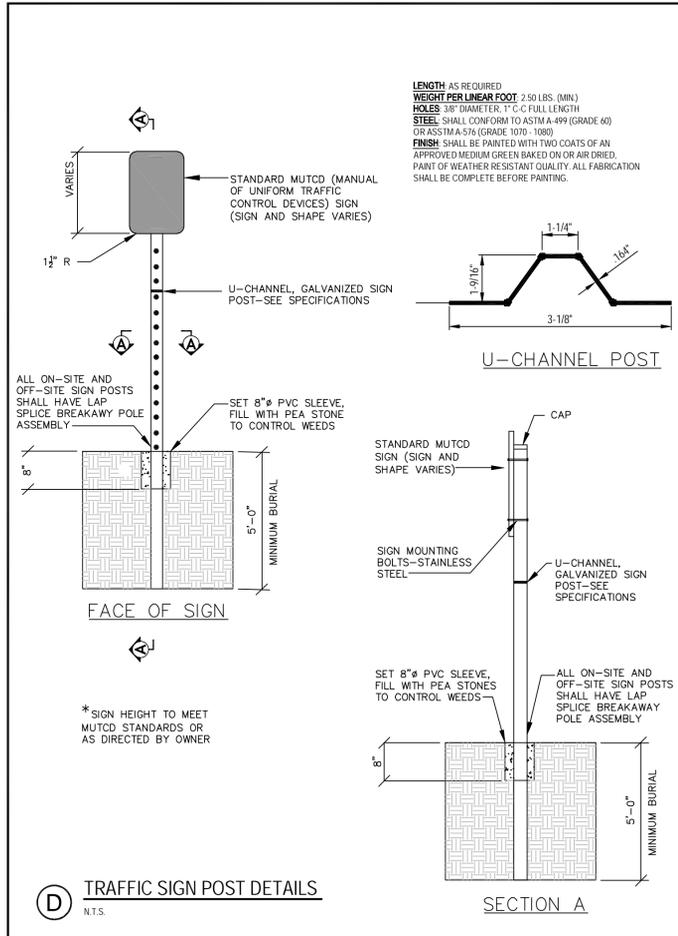




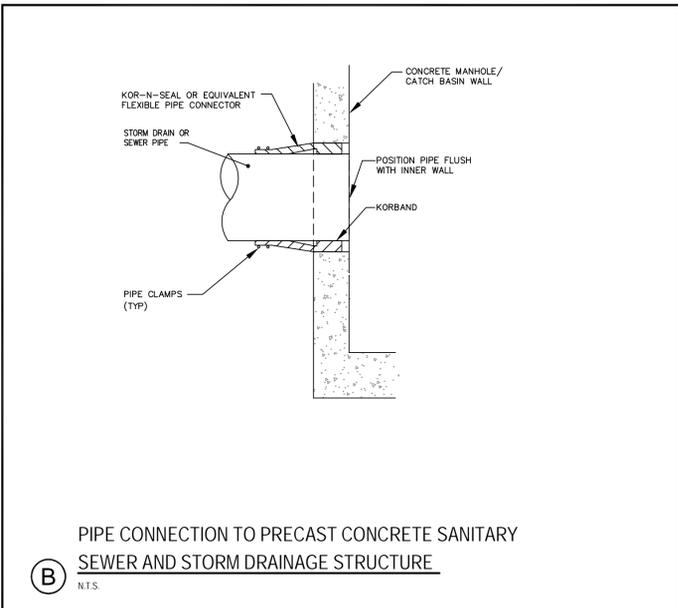




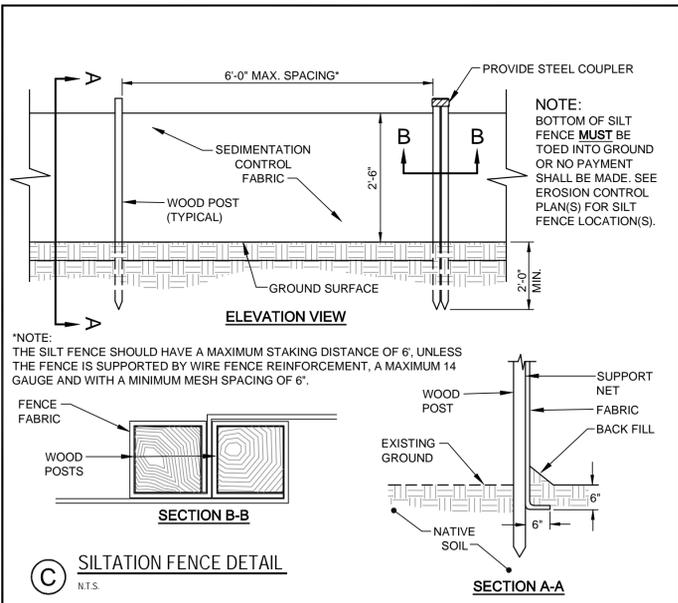
**A** BARRIER FREE AISLE AND PARKING STRIPING  
N.T.S.



**D** TRAFFIC SIGN POST DETAILS  
N.T.S.



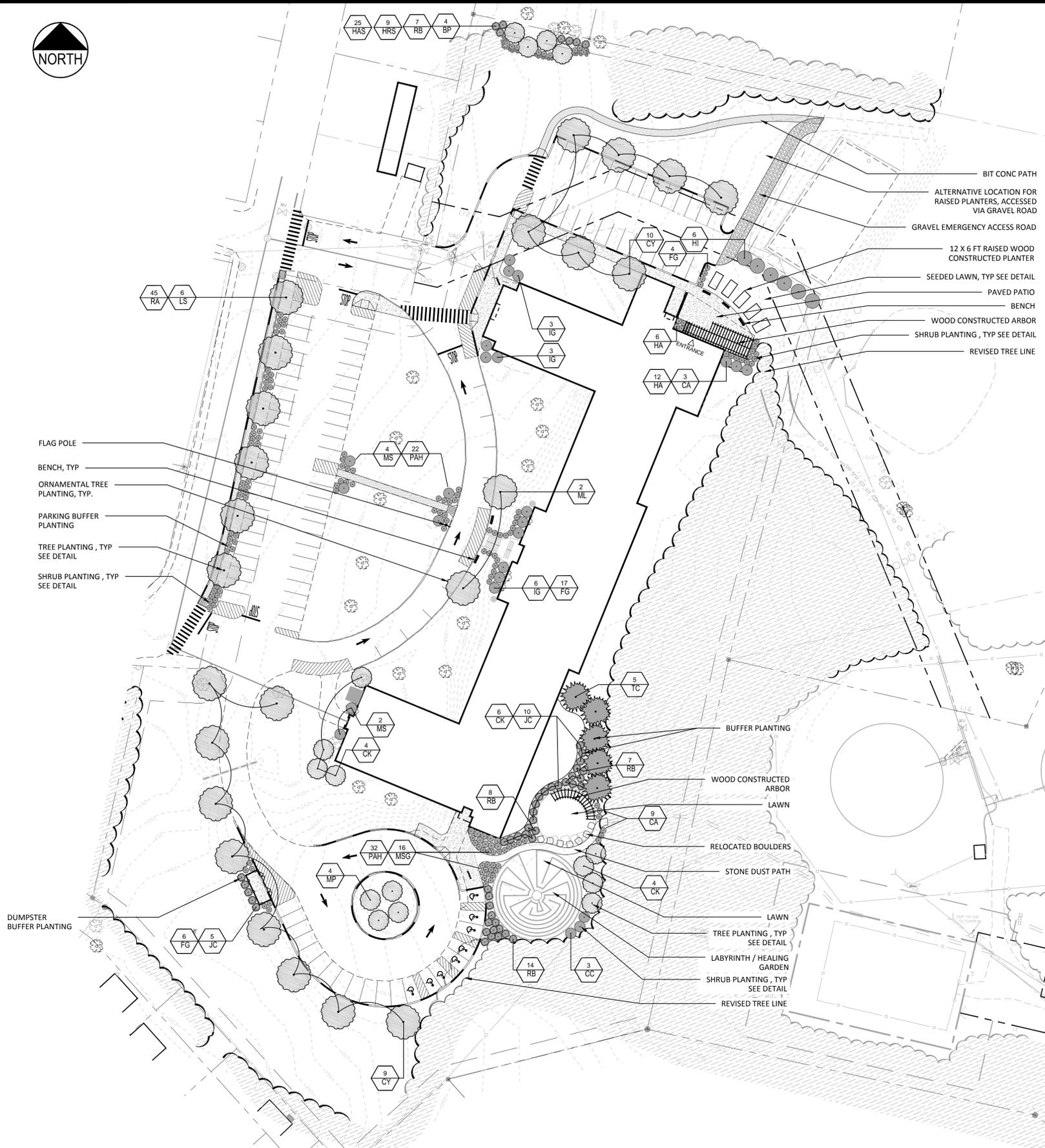
**B** PIPE CONNECTION TO PRECAST CONCRETE SANITARY SEWER AND STORM DRAINAGE STRUCTURE  
N.T.S.



**C** SILTATION FENCE DETAIL  
N.T.S.

**FST** 100 YEARS  
FAY, SPOFFORD & THORNDIKE  
ENGINEERS - PLANNERS - SCIENTISTS  
778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106

Prepared For: AUGUSTA HOUSING SERVICE CORPORATION 353 WATER STREET AUGUSTA, MAINE 04330	Project: HODGKINS SCHOOL APARTMENTS AUGUSTA, ME 17 MALTA STREET AUGUSTA, MAINE	Revisions:
Architect: <b>ARCHETYPE</b> architects 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Date: 11 JULY 2014	Scale: 07.11.14 Site Plan Submission
		<p>DETAILS</p> <p><b>C-9.0</b></p>



**PLANT LIST - TREES & SHRUBS**

QUANTITY	SYB.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
4	BP	<i>betula papyrifera</i> 'Renaissance Reflection'	Paper Birch	6'-8' Clump	MULTI STEMMED CLUMP, B&B
9	CA	<i>clethra alnifolia</i>	Sweet Pepperbush	#3	CONT
3	CC	<i>cotinus coggygria</i> 'Royal Purple'	Purple Smokebush	#5	CONT
14	CK	<i>cornus kousa</i>	Korean Dogwood	6-7' HT	MULTI STEMMED CLUMP, B&B
19	CY	<i>cladrastis kentukea</i>	Yellowwood	2"- 2 1/2"	B&B
27	FG	<i>fothergilla gardenii</i>	Dwarf Bottlebrush	#5	CONT
6	HI	<i>hamamelis x intermedia</i> 'Diane'	Witchhazel	#7	CONT
12	IG	<i>ilex glabra</i> 'Compacta'	Inkberry	#5	CONT
15	JC	<i>juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	#7	CONT
6	LS	<i>Liquidambar styraciflua</i>	Sweetgum	2" - 2 1/2" 1.75"	B&B
4	MP	<i>malus</i> 'Prairie Fire'	Prairie Fire Crabapple		B&B
2	ML	<i>magnolia loebneri</i> 'leonard messel'	Leonard Messel Magnolia	7-8' HT	B&B
6	MS	<i>magnolia stellata</i>	Star Magnolia	7-8' HT	B&B
45	RA	<i>rhododendron</i> 'Grow Low'	Grow Low Sumac	#3	CONT
36	RB	<i>rhododendron</i> 'Boule de Neige'	Boule de Neige Rhododendron	#3	CONT
5	TC	<i>tsuga canadensis</i>	Eastern Hemlock	6-7' HT	B&B

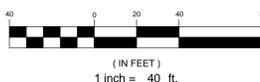
**PLANT LIST - PERENNIALS & GRASSES**

QUANTITY	SYB.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
18	HA	<i>hydrangea anomala petiolaris</i>	Climbing Hydrangea	#7	CONT
25	HAS	<i>hemerocallis</i> 'Apricot Sparkles'	Daylily	#1	CONT
9	HRS	<i>hemerocallis</i> 'Ruby Sentinel'	Daylily	#1	CONT
16	MSG	<i>miscanthus sinensis</i> 'Graziella'	Silver Grass	#1	CONT
55	PAH	<i>Pennisetum alopecuroides</i> 'Hameln'	Dwarf Fountain Grass	#1	CONT

- PLANTING NOTES:**
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
  - CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE WORK SHOWN ON THE PLAN. ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED ON THE PLAN SHALL NOT ENTITLE THE CONTRACTOR TO ADDITIONAL REMUNERATION. ANY DISCREPANCIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT PRIOR TO ORDERING PLANT MATERIAL.
  - ALL MATERIALS SHALL CONFORM TO SPECIFICATIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK (LATEST EDITION) AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
  - ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS THE ORIGINAL GRADES BEFORE DIGGING.
  - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
  - ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AT THE NURSERY AND AT THE SITE.
  - ALL PLANT BEDS SHALL MEET MINIMUM TOPSOIL REQUIREMENTS (SEE SPECIFICATIONS).
  - NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRUBBING, BED PREPARATION, AND FINISH GRADING HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
  - ALL PLANTS BEDS AND TREE WELLS SHALL HAVE A MINIMUM OF 3" OF UNIFORMLY DISTRIBUTED, DARK, SHREDDED BARK MULCH.
  - CONTRACTOR SHALL SUBMIT SOIL SAMPLE AND TEST OF TOPSOIL TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SOIL ADMIXTURE SHALL BE ADDED TO EXISTING SOIL (BY CONTRACTOR) IF DEEMED NECESSARY BY SOIL TEST RESULTS.
  - ROUGH GRADING AND BED PREPARATION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO REQUIRED SITE VISIT.
  - ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. ALL ROOT WRAPPING AND CONTAINER MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
  - ALL BROAD LEAF EVERGREEN PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT AT THE BEGINNING OF THEIR FIRST WINTER.
  - ALL PLANTS SHALL BE INSTALLED AS PER DETAILS AND THE CONTRACT SPECIFICATIONS. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  - CONTRACTOR SHALL STAKE TREES IF DEEMED NECESSARY BY THE LANDSCAPE ARCHITECT.
  - THE LANDSCAPE CONTRACTOR SHALL PROVIDE PREPARED SOIL PLANTING MIX AS PER THE CONTRACT SPECIFICATIONS.
  - THE LANDSCAPE CONTRACTOR SHALL REFER TO THE PLANT LIST AND PLANTING SPECIFICATIONS FOR SEASONAL REQUIREMENTS AND OTHER RESTRICTIONS RELATED TO THE TIME AND SEASON OF PLANTING.

ISSUED FOR PERMITTING ONLY

- NOTES:**
- ALL EXISTING SHRUBS AROUND BUILDING SHALL BE REMOVED
  - SEE L2.0 FOR LANDSCAPE DETAILS



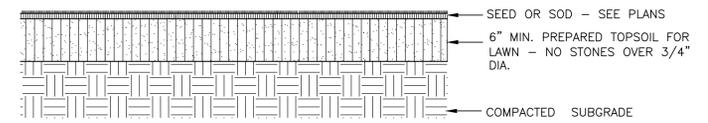
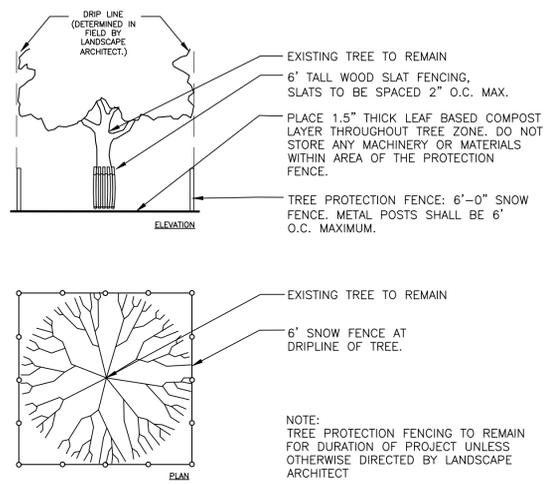
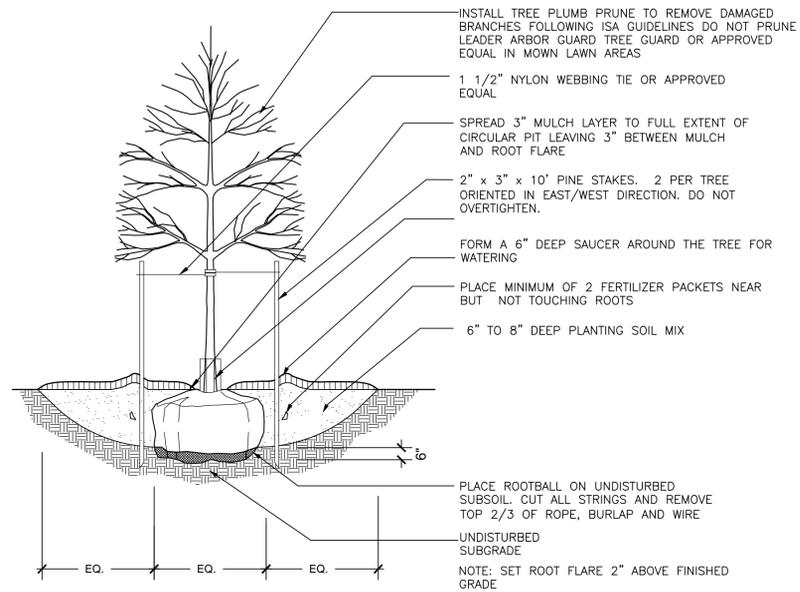
<p><b>CARROLL ASSOCIATES</b> LANDSCAPE ARCHITECTS</p> <p>217 COMMERCIAL STREET, STE 200 PORTLAND, MAINE 04101 207.772.1552 V. F. 207.772.0712</p>	<p>Prepared For:</p> <p><b>AUGUSTA HOUSING AUTHORITY</b></p> <p>353 WATER STREET AUGUSTA, MAINE 04330</p>	<p>Project:</p> <p><b>HODGKINS SCHOOL APARTMENTS AUGUSTA, ME</b></p> <p>17 MALTA STREET AUGUSTA, MAINE</p>	<p>Revisions:</p> <table border="1"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>								
<p>Architect:</p> <p><b>ARCHETYPE</b> Architects</p> <p>48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056</p>	<p>Date:</p> <p>11 JULY 2014</p>	<p>Scale:</p> <p>1" = 40'</p>	<p>07.11.14 Site Plan Submission</p>								

**FST** **FAY, SPOFFORD & THORNDIKE**  
ENGINEERS • PLANNERS • SCIENTISTS  
778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106



**LANDSCAPE PLAN**

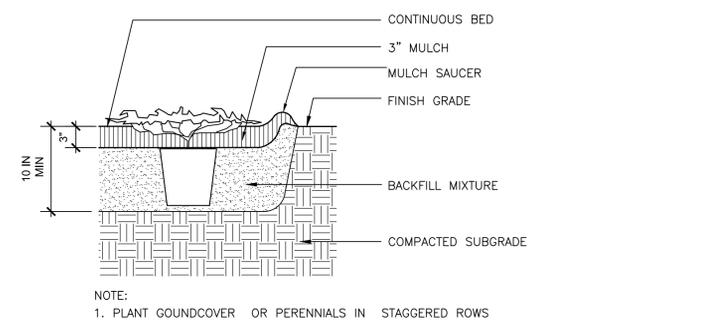
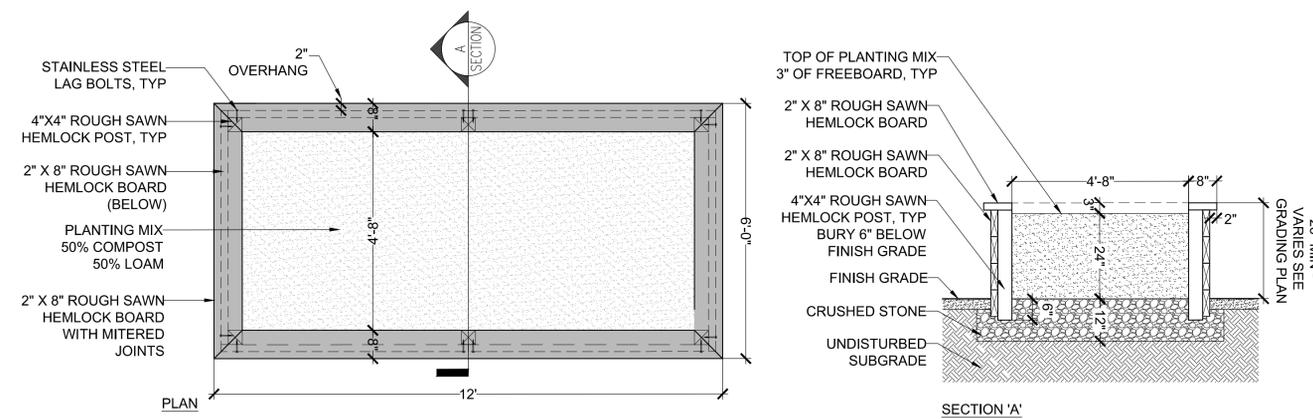
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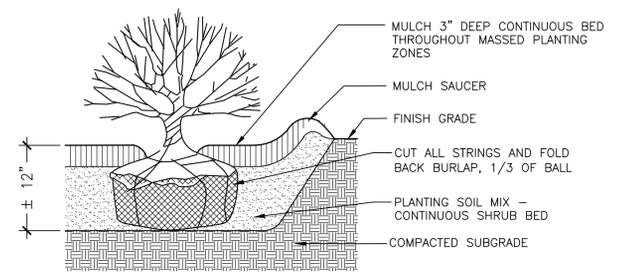
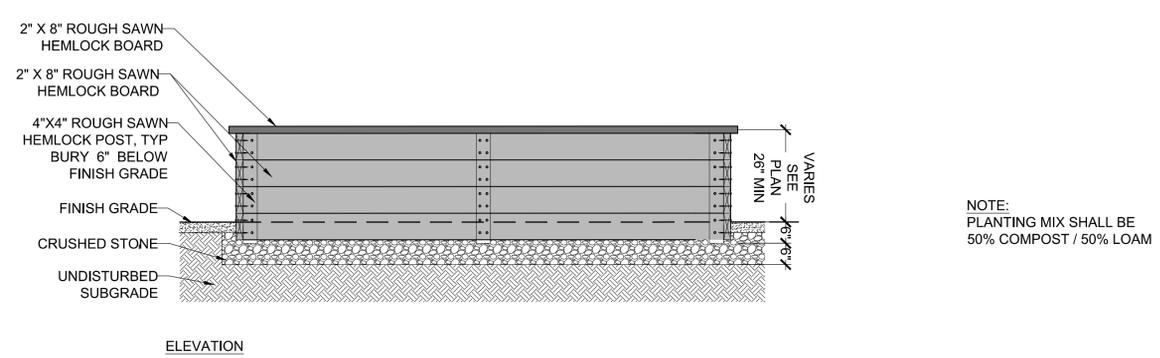
1 TREE PLANTING  
SCALE: 1"=1'-0"

2 TREE PROTECTION  
SCALE: 1"=1'-0"

3 LAWN  
SCALE: 1"=1'-0"



5 PERENNIAL / GROUND COVER PLANTING  
SCALE: 1"=1'-0"



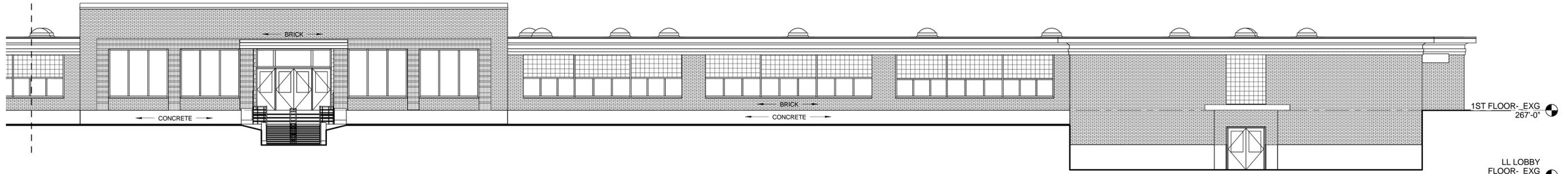
6 SHRUB PLANTING  
SCALE: 1"=1'-0"

4 RAISED PLANTER  
SCALE: 1/2"=1'-0"

ISSUED FOR PERMITTING ONLY

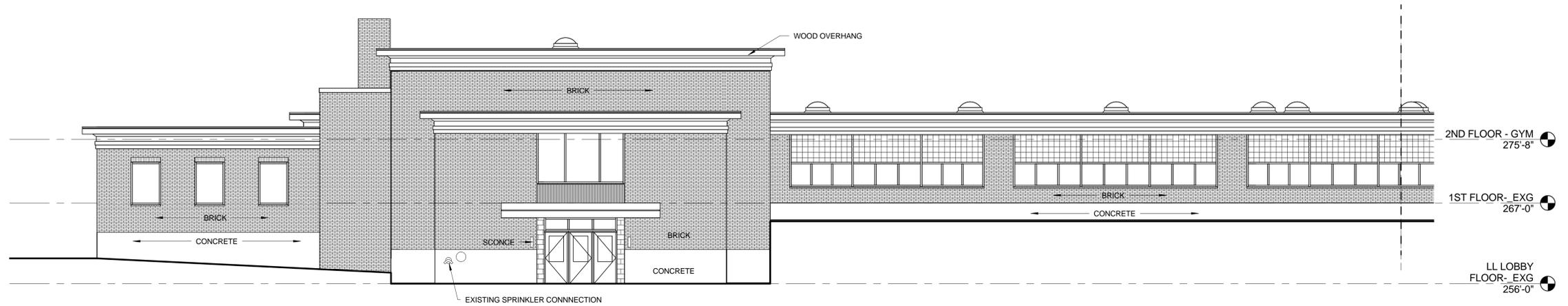
 <b>CARROLL ASSOCIATES</b> LANDSCAPE ARCHITECTS 217 COMMERCIAL STREET, STE 200 PORTLAND, MAINE 04101 207.772.1552 V. F. 207.772.0712	Prepared For: <b>AUGUSTA HOUSING AUTHORITY</b> 353 WATER STREET AUGUSTA, MAINE 04330	Project: <b>HODGKINS SCHOOL APARTMENTS</b> <b>AUGUSTA, ME</b> 17 MALTA STREET AUGUSTA, MAINE	Revisions: _____ _____ _____ _____ 07.11.14 Site Plan Submission
	Architect:  <b>ARCHETYPE</b> architects 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Date: 11 JULY 2014 Scale: AS NOTED	





4 WEST FRONT ELEVATION - SOUTH OF MATCHLINE

1/8" = 1'-0" 0 4' 8' 16' 32'

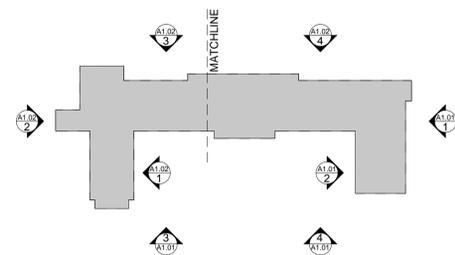


3 WEST FRONT ELEVATION - NORTH OF MATCHLINE

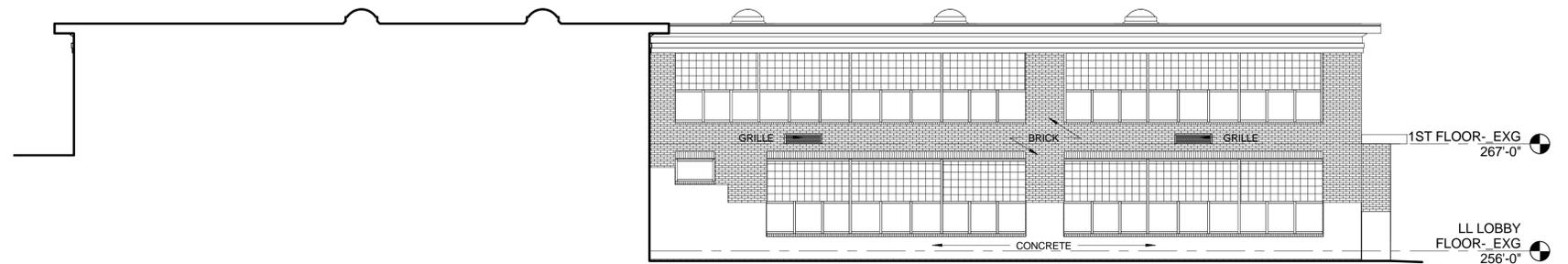
1/8" = 1'-0" 0 2' 4' 8' 16'

**GENERAL NOTES:**

1. REPAIR ALL GLASS BLOCK. REPLACE AS NECESSARY
2. REPAIR & PAINT CORNICE
3. ALL NEW ENTRY DOORS TO MATCH ORIGINAL DOORS
4. REPLACE ALL EXISTING WINDOWS WITH NEW ALUMINUM & GLASS WINDOWS "IN KIND"
5. NEW WINDOWS IN ALL EXISTING PLYWOOD-COVERED MASONRY OPENINGS

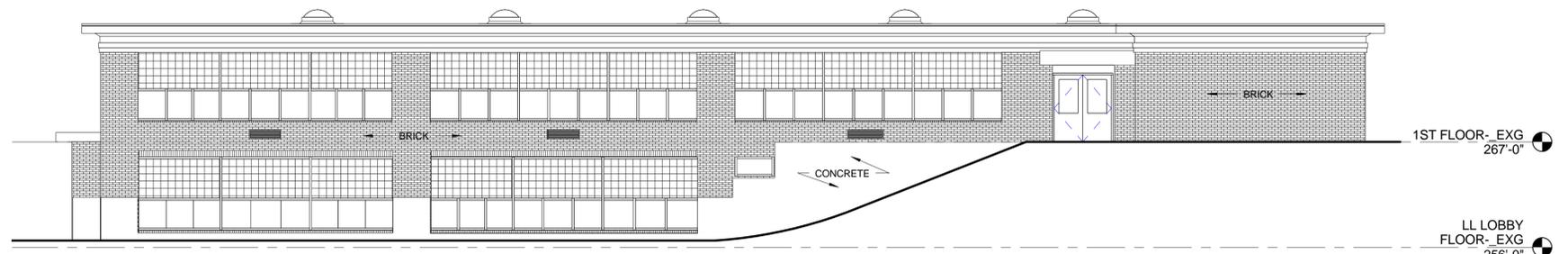


KEYPLAN



2 NORTH ELEVATION - SOUTH WING

1/8" = 1'-0" 0 4' 8' 16' 32'



1 SOUTH END ELEVATION - SOUTH OF MATCH LINE

1/8" = 1'-0" 0 4' 8' 16' 32'

Prepared For:

Consultant:

Architect:

Project:

Revisions:

Scale:

Date:

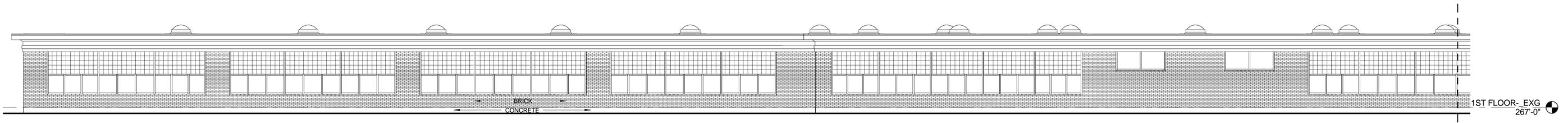
Address  
City, State

**ARCHETYPE**  
architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-0022 ARCHETYPE@ARCHETYPEPA.COM

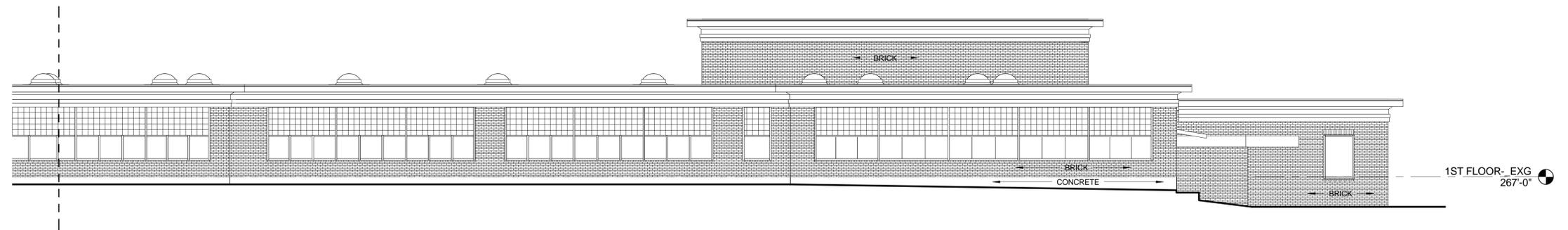
**HODGKINS SCHOOL**  
**APARTMENTS**  
AUGUSTA, MAINE

As indicated  
**BUILDING ELEVATIONS**

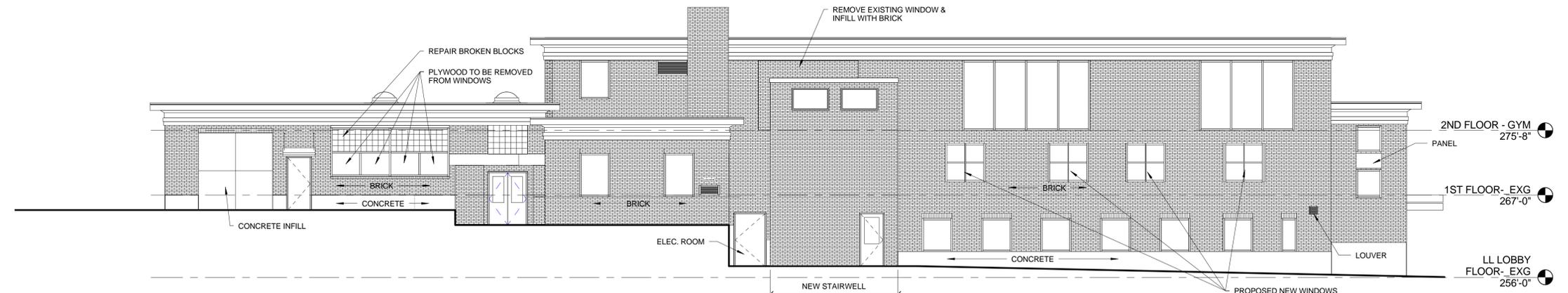
**A0.05**



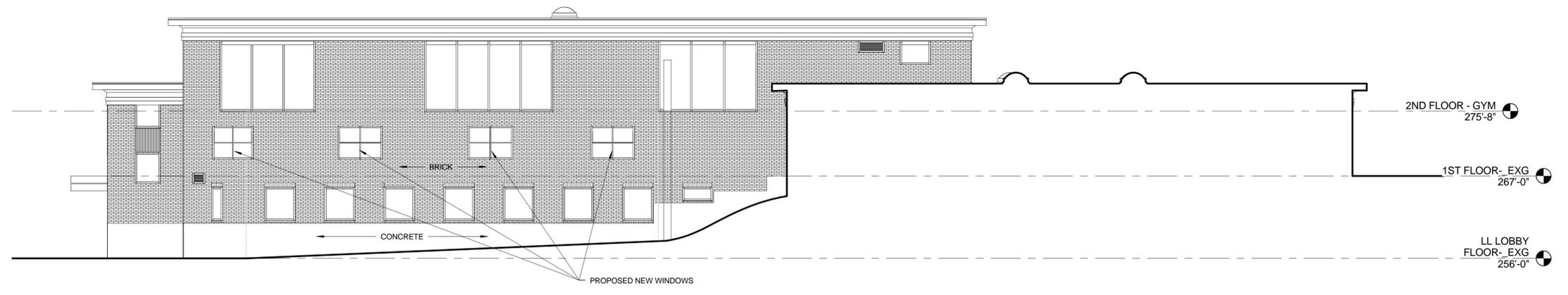
4 EAST REAR ELEVATION - SOUTH OF MATCHLINE  
1/8" = 1'-0" 0 2' 4' 8' 16'



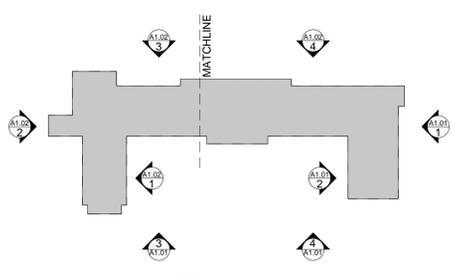
3 EAST REAR ELEVATION - NORTH OF MATCHLINE  
1/8" = 1'-0" 0 2' 4' 8' 16'



2 NORTH END ELEVATION - NORTH OF MATCH LINE  
1/8" = 1'-0" 0 2' 4' 8' 16'



1 SOUTH ELEVATION - NORTH MULTI-PURPOSE WING  
1/8" = 1'-0" 0 2' 4' 8' 16'



KEYPLAN

Prepared For:

Consultant:

Architect:  
**ARCHETYPE**  
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Project:  
**HODGKINS SCHOOL APARTMENTS**  
AUGUSTA, MAINE

Revisions:

Scale: As indicated  
Date: Issue Date  
**BUILDING ELEVATIONS**

**A0.06**