



July 11, 2014

Mr. Matthew Nazar
Director of Development Services
City of Augusta
16 Cony Street
Augusta, ME 04330

Subject: Hodgkins School Apartments
Map #46 – Lot #8
Minor Development Review Application
Major Subdivision Review Application
Applicant: Augusta Housing Service Corporation

Dear Mr. Nazar:

On behalf of the Augusta Housing Service Corporation and Developers Collaborative Predevelopment, LLC, FST is pleased to submit a Minor Development Review Application, a Major Subdivision Review Application, and the accompanying materials for proposed work at the Hodgkins School site. We understand the project qualifies for as a Major Subdivision as it involves more than 6 residential units. The project involves the conversion of the former school into 47 affordable senior housing units. Ancillary activities will include parking area improvements, utilities upgrades as may be determined by the project's MEP/HVAC designers, and related site improvements. Under an agreement with the City of Augusta, the Augusta Housing Authority will lease approximately 6.25 acres of the 20 acre parcel identified on City of Augusta Tax Map #46, Lot #8. The former school contains approximately 37,925 SF of floor area that will be developed into housing units. According to preliminary plans by Archetype PA the intent is to develop 37 one bedroom units ranging in size from 606 SF to 873 SF and 10 Efficiency units of less than 500 SF. There will be at least 5 ADA accessible units. The floor plan includes multiple laundry areas, storage space and community space. The main source of financing is tax credits from Maine Housing, and as such will meet all current relevant standards for multi-family affordable housing construction. However, the project is also subject to National Park Service review, as it qualifies for Historic Tax Credits. As such, various improvements to the building will require compliance with the NPS oversight and requirements for historic properties.

The development activities also include the construction of a 30 space parking area at the north end of the site and an additional 20 spaces at the south end, off the existing circular drop off area. The south end of the building is the designated ADA accessible route therefore 8 ADA complaint parking spaces will be constructed off the existing cul-de-sac. Combined with 10 proposed parallel spaces along the front circular drive, there will be 60 parking spaces in total to

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serve the housing development. An additional 50 parking spaces will continue to be available to the Public, in the parking area located along the street front adjacent Malta Street. This parking is considered overall flow parking of visitors to the ball field spaces. The site's solid waste enclosure will also be placed at the south end based on these access conditions.

Various parties use the north end of the site for accessing the existing ball fields that will remain in the City's control. For this reason the site layout also contemplates provisions for an access easement benefiting the City, for continued access to the field spaces northeast of the site. The north side of the site is also encumbered by an existing utility easement for a water main and this easement will continue to remain in place. A public pedestrian easement will also be granted through and beyond the south parking area to allow continued access to the City trail system behind and beyond the site.

Additional information related to the project is provided in the attachments highlighted below.

The following information is provided in accordance with the City's Minor Review Application and Major Subdivision Review Application requirements:

Attachment A – Application Forms: Minor Development Review and Major Subdivision Review

Attachment B – Written Project Narrative

Attachment C – Purchase & Sale Agreement

Attachment D – Evidence of Financial and Technical Capacity

Attachment E – Site Figures

Attachment F – Site Lighting Plan and Supporting Narrative

Attachment G – Supporting plans including Site Plans, Preliminary Floor Plan and Building Elevations

In addition to the accompanying submission materials provided in the attachments, the following waivers are requested:

- Per the Site Development Review/Subdivision Review Application checklists, a waiver is requested for the submission of a Stormwater Report.
- Per the Site Development Review/Subdivision Review Application checklists, a waiver is requested for the submission of a Traffic Report.

We anticipate the production of a Recording Plat and supporting materials associated with the Subdivision Plan. The Recording Plat will be provided following initial staff review of the submitted plans with the intention of providing any necessary information that staff requires.

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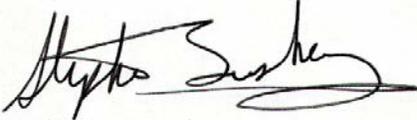
The development team is currently reviewing the site's needs for landscape architecture with representatives from Carroll Associates and we anticipate submitting a Landscape Plan no later than July 18th to the planning staff for review.

We look forward to presenting to the Planning Board and we welcome any staff comments you may have prior to the meeting. Please be advised that a representative of the development team will drop off the application fee amount under separate cover.

If you have any questions with regard to this letter, please contact our office.

Sincerely,

FAY, SPOFFORD & THORNDIKE

A handwritten signature in black ink, appearing to read "Stephen R. Bushey", is written over a light yellow rectangular background.

Stephen R. Bushey, P.E.
Principal Engineer

SRB/cmd/smk

Attachments – As Listed Above

c: Kevin Bunker – Developers Collaborative Predevelopment LLC
Amanda Bartlett – Augusta Housing Service Corporation

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Augusta Housing Authority

33 Union Street

Suite 3

Augusta, Maine 04330

(207) 626-2357 Fax (207) 626-2359

July 10, 2014

Subject: Proposed Senior Housing Development-17 Malta Street, Augusta

Agent Authorization Letter

To Whom It May Concern:

The Augusta Housing Service Corporation has retained Fay, Spofford & Thorndike, LLC to prepare requisite Local, State and Federal Permit Applications for the above referenced project. FST is authorized to act as an agent for the Augusta Housing Service Corporation in matters related to these permits.

Sincerely,



Manager, AHSC

Title

ATTACHMENT A

APPLICATION FORMS

MINOR DEVELOPMENT REVIEW APPLICATION

MAJOR SUBDIVISION REVIEW APPLICATION

DEVELOPMENT REVIEW APPLICATION

Applicant Please Read First:

It is the Applicant's responsibility to read the relevant sections of the Augusta Land Use Ordinance and provide the material required to constitute a complete application. No application will be placed on the Planning Board agenda until it has been deemed complete by staff at the Bureau of Planning. An application that includes all of the information described in this packet shall constitute a completed application. Waivers from certain standards may be requested in writing as an alternative to providing the required information.

This application form is for major development and minor development site plan applications which are:

MAJOR DEVELOPMENT: Any multi-family or non-residential development project that:

- a. creates more than 20,000 square feet of new floor space in the CD or IA zones; or
- b. creates more than 10,000 square feet of new floor area in zones not listed in a. above; or
- c. that disturbs more than 43,560 square feet (1 acre) of land; or
- d. creates more than 43,560 square feet (1 acre) of new impervious surface; or
- e. new construction that generates more than 100 trips in the peak hour for the proposed use; or
- f. proposes a new wireless communication facility that will require construction of a new tower.

MINOR DEVELOPMENT: Any multi-family or non-residential development project that:

- a. creates between 5,000 and 20,000 square feet of new floor area in the CD and IA zones; or
- b. creates between 1,000 and 10,000 square feet of new floor area in zones not listed in a. above; or
- c. that disturbs between 10,000 and 43,560 square feet of land; or
- d. creates between 10,000 and 43,560 square feet of new impervious surface; or
- e. creates four (4) or more residential units in a pre-existing single family, duplex, or multi-family structure; or
- f. new construction that generates between 35 and 99 trips in all zoning districts except CD and IA, in the peak hour for the proposed use; or
- g. any change of use where the proposed use requires 25% more on-site parking, as calculated using the parking requirements in the Land Use Ordinance, than the applicant proposes to make available on site; or
- h. proposes collocation of a wireless communication facility on an existing tower that will require construction of a new equipment shed.
- i. all uses proposing to construct a drive-through service or vehicle re-fueling pumps that do not otherwise qualify for major or minor development review.

When a proposed use qualifies as both a Development review and a Conditional Use, this single application shall be used. The staff and Planning Board review shall take both required approvals into account during a single review process.

Please note that a **complete application is required** before it will be reviewed by the Planning Board. The attached application must be submitted with the required plans, drawings, reports, and narratives as outlined in Chapter 4 of the Land Use Ordinance and Section 6.3.4 of the Land Use Ordinance.

The application review for a Major and **Minor Development** will proceed as follows:

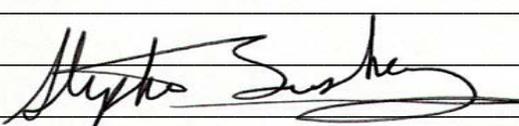
1. Pre-Application review with Planning Staff, as necessary
2. Application submission to Planning Board.
3. Notification of abutters upon receipt of Application for Minor Development
4. Public hearing within thirty (30) days of receipt of complete application
5. Planning Board decision within thirty (30) days of the close of a public hearing.

Decisions on a Major or Minor Development are generally made in a single Planning Board meeting, however, if additional information is required, the hearing may be continued and require additional Planning Board meetings.

FEES:

1. For all applications: \$0.15 + the cost of first class postage for each abutter that will be notified as required by the ordinance.
2. For Major Development review: \$2,000 + (\$0.15 x each new square foot over 25,000). Maximum fee = \$4,000.
3. For Minor Development review: \$250 + (\$0.15 x each new square foot over 5,000). Maximum fee = \$1,000.

City of Augusta
Development Review Application
 Bureau of Planning, Department of Development Services

Address of Proposed development: 17 Malta Street		
Zone(s): RB1 Medium Density Residential		
Project Name: Hodgkins School Apartments		
Existing Building (sq. ft.): 37,925	Proposed Building (sq. ft.): 37,925	
Existing Impervious (sq. ft.):	Proposed Impervious (sq. ft.):	
Proposed Total Disturbed Area of the Site: Not Applicable		
Proposed disturbance of greater than one acre requires a Chapter 500, Stormwater Management Permit from the Maine Department of Environmental Protection (DEP).		
Owner's Name/Address: City of Augusta City Center Plaza 16 Cony Street Augusta, ME 04330 Phone #: 207-626-2300 Cell #: N/A e-mail:	Applicant's Name/Address: Augusta Housing Service Corporation 353 Water Street Augusta, ME 04330 Attn: Amanda Bartlett Phone #: 207-766-1632 Cell #: e-mail: bunker.kevin@gmail.com	Consultant's Name/Address: Fay, Spofford & Thorndike 778 Main Street, Suite 8 So. Portland, ME 04106 Attn: Steve Bushey, P.E. Phone #: 207-775-1121 Cell #: 207-756-9359 e-mail: sbushey@fstinc.com
Tax Map #: 46 Lot #: 8	Lot Size (acres): 6.25 Frontage (Feet): 295	Form for Evidence of Standing (deed, purchase and sale agreement, other): Refer to Attachment C of submission
<u>For Staff Use</u>		
Fee Calculation: Major Development max fee is \$4,000; Minor Development max fee is \$1,000 Major Development: \$2,000 + (number of sq ft over 25,000 x \$0.15) = Minor Development: \$250 + (number of sq ft over 5,000 x \$0.15) = All Development: Number of Abutters x (1oz First Class postage fee + \$0.15) = Total Fee:		
Signatures		
Applicant: _____	Date: _____	
Owner: _____	Date: _____	
Agent:  _____	Date: <u>July 11, 2014</u>	

Checklist. The checklist below must be completed by the applicant. The required material or a written waiver request must be provided.

Information Required on Plan(s) See Augusta Land Use Ordinance for greater detail	Included	Waiver Requested
a. Name of Site Plan (Sec 4.5.2.1 of the Land Use Ordinance)	X	
b. Owner(s) name and address (4.5.2.2)	X	
c. Deed reference to subject parcel (4.5.2.3)	X	
d. Engineer's name, address, signature and seal (4.5.2.4)	X	
e. Surveyor's name, address, signature and seal (4.5.2.5)	X	
f. Scale, both in graphic and written form (4.5.2.6)	X	
g. Date and Revision box (4.5.2.7)	X	
h. Zoning designation(s) (4.5.2.8)	X	
i. North Arrow (true and magnetic, dated or grid) (4.5.2.9)	X	
j. Ownership, location and present use of abutting land (4.5.2.11)	X	
k. Location map (4.5.2.12)	X	
l. Streets, existing & proposed, with curve data (4.5.2.13 & 4.6.2.5)	X	
m. Drainage and erosion control (4.5.2.14)	X	
n. Utilities, existing and proposed (4.5.2.15)	X	
o. Topography, 2 foot contours (4.5.2.16)	X	
p. Parcel boundaries and dimensions (4.5.2.17)	X	
q. Proposed Use of the property (4.5.2.18)	X	
r. Proposed public or common areas (4.5.2.19)	X	
s. Boundary Survey and associated information (4.5.2.20)	X	
t. Traffic controls, off-street parking and facilities (4.5.2.21)	X	
u. Proposed fire protection plans or needs (4.5.2.22)	X	
v. Landscaping and buffering (4.5.2.23)	X	
w. Outdoor lighting plan (4.5.2.24)	X	
x. Freshwater wetlands (4.4.1.14)	N/A	
y. River, stream or brook (4.4.1.15)	N/A	
Information Required in Written Project Narrative See Augusta Land Use Ordinance for greater detail	Included	Waiver Requested
a. Pollution – Undue water or air pollution (4.4.1.1)	X	
b. Water – Sufficient potable water (4.4.1.2)	X	
c. Municipal Water – is there adequate supply (4.4.1.3)	X	
d. Soil Erosion – unreasonable soil erosion (4.4.1.4)	X	
e. Road congestion and safety (4.4.1.5 & 4.5.2.21)	X	
f. Sewage waste disposal – adequate provisions (4.4.1.6)	X	
g. Solid waste – adequate provisions (4.4.1.7)	X	
h. Aesthetic, cultural, and natural values (4.4.1.8)	X	
i. Conformity with city ordinances and plans (4.4.1.9)	X	
j. Financial and technical ability (4.4.1.10)	X	
k. Surface water, shoreland, outstanding rivers (4.4.1.11)	X	
l. Ground water – negative impact (4.4.1.12)	X	
m. Flood areas (4.4.1.13)	X	
n. Freshwater wetlands – description of impact (4.4.1.14)	X	
o. Stormwater – management plans (4.4.1.16)	X	
p. Access to direct sunlight (4.4.1.17)	X	
q. State Permits – description of requirements (4.4.1.18)	X	
r. Outdoor lighting – description of lighting plans (4.4.1.20)	X	

Additional Information Required in Written Narrative See Augusta Land Use Ordinance for greater detail		
Where the items below duplicate the items above, identical responses are permitted and encouraged.	Included	Waiver Requested
s. Neighborhood Compatibility – description per ordinance (6.3.4.1)	X	
t. Compliance with Plans and Policies (6.3.4.2)	X	
u. Traffic Pattern, Flow, and Volume analysis (6.3.4.3)	X	
v. Public facilities – Utilities including stormwater (6.3.4.4)	X	
w. Resource protection and the environment (6.3.4.5)	X	
x. Performance Standards (6.3.4.6)	X	
y. Financial and Technical Ability (6.3.4.7)	X	

Application Materials

The application materials that are required for a complete application are listed below:

Paper Copies	Included	Waiver Requested
11 copies of the application form and narrative	X	
11 copies of the deed, Purchase & Sale agreement, or other document to show standing	X	
3 copies of any stormwater report		X
2 copies of any traffic report		X
7 reduced-sized copies of the complete plan set on 11" x 17" size paper	X	
4 full-sized copies of the complete plan set on ANSI D or E size paper	X	
11 copies of a letter authorizing the agent to represent the applicant	X	
Payment in full of application fee (Note: an abutter notification fee will be assessed after the application is determined to be complete. The fee is \$0.15 plus the cost of first class postage for each abutter that will be notified as required by the ordinance.)	X	
Electronic Copy		
1 CD that includes each of the application documents in Adobe PDF format	X	

For Official Use:		
<input type="checkbox"/> \$ _____ Application Fee Paid.	Received By (Initials): _____	Date: _____
<input type="checkbox"/> \$ _____ Abutter Notification Fee Paid.	Received By (Initials): _____	Date: _____

SUBDIVISION REVIEW APPLICATION

Applicant Please Read First:

This application form is only for the development of 3 or more dwelling units or a brand new subdivision of land into lots. Any projects involving changes within an existing approved subdivision requires either a "Re-Subdivision" or a "Subdivision Amendment" Review by the Planning Board and a different application form.

This application form is for minor subdivision and major subdivision applications which are:

MINOR SUBDIVISION: Any subdivision not involving the development of a street and involving the creation of fewer than six (6) lots or units.

MAJOR SUBDIVISION: Any subdivision involving the development of a street. A major subdivision shall also include those developments which create six (6) or more lots or units whether on an existing street or on or within a proposed street or street system.

When a proposed use qualifies as both a Subdivision review and a Conditional Use, this single application shall be used. The staff and Planning Board review shall take both required approvals into account during a single review process.

It is the Applicant's responsibility to read the relevant sections of the Augusta Land Use Ordinance and provide the material required to constitute a complete application. No application will be placed on the Planning Board agenda until it has been deemed complete by staff at the Bureau of Planning. An application that includes all of the information described in this packet shall constitute a completed application. The attached application must be submitted with the required plans, drawings, reports, and narratives as outlined in Chapter 4 of the Land Use Ordinance and Section 6.3.4 of the Land Use Ordinance. Waivers from certain standards may be requested in writing as an alternative to providing the required information.

The application review for a **Subdivision** will proceed as follows:

1. Pre-Application review with Planning Staff, as necessary
2. Application submission to Planning Board
3. Notification of abutters upon receipt of Application for Minor Subdivision
4. Public hearing within thirty (30) days of receipt of complete application
5. Planning Board decision within thirty (30) days of the close of a public hearing

Decisions on a Subdivision are generally made in a single Planning Board meeting. However, if additional information is required, the hearing may be continued and additional Planning Board meetings may be required.

FEES:

1. For all applications: \$0.15 + the cost of first class postage for each abutter that will be notified as required by the ordinance.
2. For Minor Subdivision review: \$150
3. For Major Subdivision review (fee due with preliminary application): \$200 (first 6 lots) + \$35 (per lot over 6 lots)

Note: No fee is assessed for pre-application review.

Checklist. The checklist below must be completed by the applicant. The required material or a written waiver request must be provided.

Information Required on Plan(s) See Augusta Land Use Ordinance for greater detail	Included	Waiver Requested
a. Name of Site Plan (Sec 4.5.2.1 of the Land Use Ordinance)	X	
b. Owner(s) name and address (4.5.2.2)	X	
c. Deed reference to subject parcel (4.5.2.3)	X	
d. Engineer's name, address, signature and seal (4.5.2.4)	X	
e. Surveyor's name, address, signature and seal (4.5.2.5)	X	
f. Scale, both in graphic and written form (4.5.2.6)	X	
g. Date and Revision box (4.5.2.7)	X	
h. Zoning designation(s) (4.5.2.8)	X	
i. North Arrow (true and magnetic, dated or grid) (4.5.2.9)	X	
j. Ownership, location and present use of abutting land (4.5.2.11)	X	
k. Location map (4.5.2.12)	X	
l. Streets, existing & proposed, with curve data (4.5.2.13 & 4.6.2.5)	X	
m. Drainage and erosion control (4.5.2.14)	X	
n. Utilities, existing and proposed (4.5.2.15)	X	
o. Topography, 2 foot contours (4.5.2.16)	X	
p. Parcel boundaries and dimensions (4.5.2.17)	X	
q. Proposed Use of the property (4.5.2.18)	X	
r. Proposed public or common areas (4.5.2.19)	X	
s. Boundary Survey and associated information (4.5.2.20)	X	
t. Traffic controls, off-street parking and facilities (4.5.2.21)	X	
u. Proposed fire protection plans or needs (4.5.2.22)	X	
v. Landscaping and buffering (4.5.2.23)	X	
w. Outdoor lighting plan (4.5.2.24)	X	
x. Freshwater wetlands (4.4.1.14)	N/A	
y. River, stream or brook (4.4.1.15)	N/A	
Information Required in Written Project Narrative See Augusta Land Use Ordinance for greater detail	Included	Waiver Requested
a. Pollution – Undue water or air pollution (4.4.1.1)	X	
b. Water – Sufficient potable water (4.4.1.2)	X	
c. Municipal Water – is there adequate supply (4.4.1.3)	X	
d. Soil Erosion – unreasonable soil erosion (4.4.1.4)	X	
e. Road congestion and safety (4.4.1.5 & 4.5.2.21)	X	
f. Sewage waste disposal – adequate provisions (4.4.1.6)	X	
g. Solid waste – adequate provisions (4.4.1.7)	X	
h. Aesthetic, cultural, and natural values (4.4.1.8)	X	
i. Conformity with city ordinances and plans (4.4.1.9)	X	
j. Financial and technical ability (4.4.1.10)	X	
k. Surface water, shoreland, outstanding rivers (4.4.1.11)	X	
l. Ground water – negative impact (4.4.1.12)	X	
m. Flood areas (4.4.1.13)	X	
n. Freshwater wetlands – description of impact (4.4.1.14)	X	
o. Stormwater – management plans (4.4.1.16)	X	
p. Access to direct sunlight (4.4.1.17)	X	
q. State Permits – description of requirements (4.4.1.18)	X	
r. Outdoor lighting – description of lighting plans (4.4.1.20)	X	

Additional Information Required in Written Narrative See Augusta Land Use Ordinance for greater detail		
Where the items below duplicate the items above, identical responses are permitted and encouraged.	Included	Waiver Requested
s. Neighborhood Compatibility – description per ordinance (6.3.4.1)	X	
t. Compliance with Plans and Policies (6.3.4.2)	X	
u. Traffic Pattern, Flow, and Volume analysis (6.3.4.3)	X	
v. Public facilities – Utilities including stormwater (6.3.4.4)	X	
w. Resource protection and the environment (6.3.4.5)	X	
x. Performance Standards (6.3.4.6)	X	
y. Financial and Technical Ability (6.3.4.7)	X	

Application Materials

The application materials that are required for a complete application are listed below.

Paper Copy	Included	Waiver Requested
11 copies of the application form and narrative	X	
11 copies of the deed, Purchase & Sale agreement, or other document to show standing	X	
3 copies of any stormwater report		X
2 copies of any traffic report		X
7 reduced-sized copies the complete plan set on 11" x 17" size paper	X	
4 full-sized copies of the complete plan set on ANSI D or E size paper	X	
11 copies of a letter authorizing the agent to represent the applicant	X	
Payment in full of application fee (Note: an abutter notification fee will be assessed after the application is determined to be complete. The fee is \$0.15 plus the cost of first class postage for each abutter that will be notified as required by the ordinance.)		
Electronic Copy		
1 CD that includes each of the application documents in Adobe PDF format	X	

For Official Use:		
<input type="checkbox"/> \$ _____ Application Fee Paid.	Received By (Initials): _____	Date: _____
<input type="checkbox"/> \$ _____ Abutter Notification Fee Paid.	Received By (Initials): _____	Date: _____

ATTACHMENT B

WRITTEN PROJECT NARRATIVE

ATTACHMENT B

WRITTEN PROJECT NARRATIVE

The following narrative is offered in accordance with Section 4.4.1 *Criteria for Reviewing the Preapplication* section of the Code of Ordinances as well as the Site Plan application checklist. The proposed development involves the redevelopment of an existing structure and site; therefore, many of the typical activities associated with a new development do not apply as much of the site's basic infrastructure is in place.

a. Pollution – Undue water or air pollution

Supporting Narrative: The former school site is located at 17 Malta Street and it is located well above sea level. The site is not in a floodplain. The site is served by municipal wastewater collection therefore; an onsite wastewater disposal system is not required. The site is gently sloped and does not appear to be prone to erosion or the potential for effluent discharge. Based on these existing conditions the site is not anticipated to be a source of undue water or air pollution.

b. Water – Sufficient potable water

Supporting Narrative: According to the Water District records, the site is served by an existing public water supply system service that includes an 8" fire supply main that enters into the building's north wing. We understand that there is a domestic service tap inside the building. Based on the proposed use of 47 residential units we believe the existing water service is adequate to meet the project needs. We have contacted the Augusta Water District to ascertain their ability to provide continued service to the building. Their reply will be forwarded to the Planning Department upon receipt.

c. Municipal Water – Is there adequate supply

Supporting Narrative: We have contacted the Augusta Water District to ascertain their ability to provide continued service to the building. Their reply will be forwarded to the Planning Department upon receipt.

d. Soil Erosion – Unreasonable soil erosion

Supporting Narrative: The development site has existed in a substantially developed condition for greater than 50 years. The proposed reuse of the site will involve modest earthwork related to the construction of parking and related site improvements. The development plans include measures to be employed during construction to minimize and capture any eroded sediments so as to avoid sediments leaving the site. These proposed conditions will not substantially impact the site's ability to absorb water, as the amount of impervious area will be increased less than 0.5 acres.

e. Road Congestion and Safety

Supporting Narrative: The proposed development involves the reuse of a former school site. The site is served by two driveways off Malta Street and it contains a relatively good circulation system for access to parking and the building entry points. The proposed project will include the construction of a defined parking lot at the north end of the site. Within this area, there is an undefined gravel area currently. This north lot will contain 30 spaces that will include 4 spaces designated for use by visitors to the field areas, and 26 spaces for tenants. At the south end of the site, the proposal includes reconstruction of the circular vehicular loop and the addition of 20 parking

spaces off this loop. The parking to be constructed at the south end will include eight handicap spaces. Generally speaking the site has adequate sight distances (in excess of 300 feet each direction along Malta Street) and related circulation conditions for vehicular movements. Based on the proposed conversion to 47 dwelling units we foresee no substantial increase of traffic generation from the site when compared to the site's historic use. We do not have actual traffic volumes related to the historic school use, however, it is estimated that the AM and PM peak hour trip generation will be 2.82 trip and 5.17 trips respectively, for the 47 apartment units.

f. *Sewage Waste Disposal – adequate provisions*

Supporting Narrative: The site is served by the City's municipal wastewater collection system and treatment system. An onsite subsurface wastewater disposal system is not required. We have contacted the Augusta Sanitary District regarding their ability to provide continued service to the site and their ability to treat wastewater from the development. We await their reply and we will forward their response to the Planning Department upon receipt.

g. *Solid Waste – adequate provisions*

Supporting Narrative: The proposed development will include provisions for the onsite collection of solid waste. A dumpster pad enclosure will be provided at the south end of the building, within which a 5 CY to 10 CY dumpster will be provided for routine waste storage. We anticipate waste collection will occur at least weekly and more frequently if necessary. A similar sized container will be provided for materials directed towards recycling. The enclosure will contain a concrete pad and it will have a PVC or wood framed enclosure surrounding the pad for security and aesthetics. The Applicant will contract with a solid waste collection and disposal company for operations and service to the site.

h. *Aesthetic, cultural, and natural values*

Supporting Narrative: The development site is a previously developed property that has been substantially developed and in use for more than 50 years. The proposed development conversion does not require significant site work. Based on these existing conditions it is not anticipated that there will be impacts to any aesthetic, cultural or natural features on the site. We have not contacted the Maine Department of Inland Fisheries and Wildlife for this application but can do so if required by the City. We note that the renovations to the building include exterior improvements that will be subject to the review and restrictions set forth by the National Park Service as part of the project's participation in the Historic Tax Credit program. These measures are intended to maintain the site and building appearances in much the same manner as their original historical conditions.

i. *Conformity with City ordinances and plans*

Supporting Narrative: To the best of our understanding the proposed development of 47 apartment units for senior affordable housing will comply with the applicable zoning and site plan review standards of the City of Augusta. The site is located in the Medium Density Residential-RB1 zoning district and the dimensional standards of the District are satisfied as outlined below:

Dimensional Requirement	Required	Proposed
Lot Area Public Sewer	7,500 SF	272,250 SF
Lot Area Private Sewer	20,000 SF	N/A
Lot Area Per Dwelling Unit	2,500 SF	5,792 SF
Lot Frontage	75 FT	293± FT

Dimensional Requirement	Required	Proposed
Lot Depth	100 FT	370± FT
Front Setback	See Section 5.1.16	25 FT
<u>Side and Rear Setback:</u>		
Principal Structure	10 FT	60± FT
Accessory Structures	5 FT	N/A
Minimum Frontage for Conversion to Two (2) or More Dwelling Units	50 FT	>293 FT

j. Financial and technical ability

Supporting Narrative: Evidence of the applicant’s financial and technical capacity is contained in Attachment D to this submission.

k. Surface water, Shoreland, outstanding rivers

Supporting Narrative: The project site is not located within the watershed of any pond or lake or within 250’ of any wetland, great pond, or river.

l. Groundwater – negative impact

Supporting Narrative: The project will not adversely affect the quality or quantity of groundwater as it will not require an onsite well nor does it involve the infiltration or injection of water back into the ground as it relates to utilities or similar measures. Due to the Site’s age of development, there are no specific stormwater management measures on the site. It appears that the site generally sheds runoff to various existing vegetated buffers surrounding the sides and rear or otherwise drains runoff towards Malta Street. There are no significant changes to the site’s stormwater runoff flow regime anticipated at this time.

m. Flood areas

Supporting Narrative: The project site is not located within a mapped flood area as evidenced by Figure 7 within the series of resources figures that accompany the submission in Attachment E.

n. Freshwater wetlands – description of impact

Supporting Narrative: The site does not contain any mapped wetlands within the development area.

o. Stormwater – management plans

Supporting Narrative: The development site currently contains very limited stormwater management and/or drainage measures and it generally relies on sheet flow runoff patterns to the site perimeter and towards the nearby street systems. The site development activities will involve no increase to impervious area within the north end of the site and less than a 0.1-acre increase in impervious area on the south end of the site. The resulting changes to stormwater runoff patterns will be negligible.

p. *Access to direct sunlight*

Supporting Narrative: The site development will not involve any increases to the existing building height; therefore, there will be no impacts to the availability of sunlight for nearby solar energy systems.

q. *State Permits – description of requirements*

Supporting Narrative: The development activity does not exceed thresholds related to the MaineDEP Site Location of Development or Natural Resources Protection Act. The site activity also does not require a Traffic Movement Permit from the MaineDOT.

r. *Outdoor lighting – description of lighting plans*

Supporting Narrative: A Site Lighting Plan has been prepared by Bartlett Design and this plan and supporting narrative accompany this submission in Attachment F.

s. *Neighborhood Compatibility – description per ordinance*

(1) *NEIGHBORHOOD COMPATIBILITY: (The intent of this section is to encourage the applicant to design the proposal in consideration of the physical impact it will have on the immediate neighborhood (within five hundred (500) feet if the property is in the Urban Growth Area Districts and within one thousand (1,000) feet if the property is in the Planned Development and/or Rural Districts).*

(a) *Is the proposal compatible with and sensitive to the character of the site and neighborhood relative to:*

- i. *Land uses;*
- ii. *Architectural design;*
- iii. *Scale, bulk and building height;*
- iv. *Identity and historical character;*
- v. *Disposition and orientation of buildings on the lot;*
- vi. *Visual integrity?*

Supporting Narrative: The development proposal relies on the reuse of an existing building formerly a school site for over 50 years. The site is located within a residential neighborhood and is therefore considered compatible with surrounding land uses. The building architecture will remain relatively unchanged as the project is seeking historic tax credits and will be reviewed by the National Park Service. There are no changes to the building size, including area and building height. The building is situated in the middle of the property with reasonable vegetative buffers around its perimeter offering separation and screening from adjacent properties. The development team anticipates modest landscape enhancements to build upon and supplement existing conditions.

(b) *Are the elements of the site plan (e.g., buildings, circulation, open space and landscaping) designed and arranged to maximize the opportunity for privacy by the residents of the immediate area?*

Supporting Narrative: As previously outlined, the site development builds upon an existing condition and we believe there to be adequate provisions for site access, buffering to adjacent properties, and reasonable compatibility with the neighborhood.

- (c) *Will the proposal maintain safe and healthful conditions within the neighborhood? This criterion shall not be limited to the standards affecting safety and health as outlined in this land use ordinance. Additional regulations may be found in the City of Augusta Code of Ordinances as amended.*

Supporting Narrative: The proposed development will take a currently unoccupied facility and return it to use. This facility is served by public utilities, adequate access facilities for emergency services, and in general will provide a continued safe and helpful condition.

- (d) *Will the proposal have a significant detrimental effect on the value of adjacent properties (which could be avoided by reasonable modifications of the plan)? In determining whether this criterion has been met, the Planning Board may require the applicant to submit an appraisal prepared by a State of Maine certified appraiser.*

Supporting Narrative: The development team has not initiated an appraisal at this time. However, it is believed that the reuse of an existing unused facility will not cause any detrimental effects on the value of adjacent properties and that in fact property values should be maintained or otherwise improved as the result of this beneficial reuse.

t. *Compliance with Plans and Policies*

(2) *PLANS AND POLICIES:*

- (a) *Is the proposal in accordance with the adopted elements of the 1988 Growth Management Plan?*

Supporting Narrative: Information to be provided under separate cover.

u. *Traffic Pattern, Flow, and Volume Analysis*

(3) *TRAFFIC PATTERN, FLOW AND VOLUME:*

- (a) *Is the proposal designed so that the additional traffic generated does not have a significant negative impact on surrounding neighborhood?*

Supporting Narrative: The proposed project involves the reuse of a facility previously used as a neighborhood school. The proposed use involves senior level housing. It is not anticipated that traffic generated by the project will be significantly increased above historic site traffic volumes and in fact is likely to be significantly decreased from when the school active. Trip generation for project results in less than 20 peak hour trips.

- (b) *Will safe access be assured by providing proper sight distance and minimum width curb cuts for safe entering and exiting? See City of Augusta Technical Standards Handbook.*

Supporting Narrative: The site currently contains two access driveways onto Malta Street each of which are 24' wide or greater. Site distances in each direction exceed 300' therefore site access conditions appear to be adequate and in compliance with City standards.

- (c) *Does the proposal provide access for emergency vehicles and for persons attempting to render emergency services?*

Supporting Narrative: The development site is accessible for emergency vehicles including access to the front and each side of the building. Emergency services vehicle access to the

south side of the building can be adequately provided within the cul-de-sac turn-around as evidenced by the accompanying Figures 1 and 2 appended at the end of this section. Emergency access to the north side of the building may require emergency vehicles to reverse out of the parking lot.

- (d) *Does the entrance and parking system provide for the smooth and convenient movement of vehicles both on and off the site? Does the proposal satisfy the parking capacity requirements of the city and provide adequate space suited to the loading and unloading of persons, materials, and goods?*

Supporting Narrative: We believe the existing access conditions onto Malta Street are adequate given the long-term use of this site for which we are unaware of any past access issues. The development will include 60 parking spaces allocated for the residential housing, as well as 50 parking spaces allocated towards general use by visitors to the City's ball field complex at the rear of the property. The site layout includes vehicular access and pedestrian access to multiple building entrances thus satisfying the development's needs for loading and unloading of persons, materials, and goods.

v. *Public facilities – utilities including stormwater*

- (4) *PUBLIC FACILITIES: Is the proposal served by utilities with adequate capacity or have arrangements been made for extension and augmentation of the following services:*

- (a) *Water supply (both domestic and fire flow);*
(b) *Sanitary sewer/subsurface waste disposal system;*
(c) *Electricity/telephone;*
(d) *Storm drainage?*

Supporting Narrative: The existing facility includes public utilities services including an 8" water supply line, 8" and 10" sanitary sewer services, and underground power and communications. The site's stormwater/drainage facilities rely mostly on surface sheet flow conditions with stormwater runoff sheeting off to vegetated buffer areas surrounding the site or leaving the site and entering the City's drainage system within Malta Street. Each of the serving utility companies has been contacted regarding capacity availability and any need for improvements to existing systems. The design team's MEP designers are currently evaluating the building's utility needs and will coordinate as necessary with the utility providers regarding any upgrades or improvements.

w. *Resource protection and the environment*

- (5) *RESOURCE PROTECTION AND ENVIRONMENT:*

- (a) *If the proposal contains known sensitive areas such as erodible or shallow soils, wetlands, aquifers, aquifer recharge areas, floodplain or steep slopes (over fifteen (15) percent), what special engineering precautions will be taken to overcome these limitations?*

Supporting Narrative: The existing site does not contain any known sensitive areas to the best of our understanding.

- (b) *Does the proposal conform to applicable local, state DEP and federal EPA air quality standards including but not limited to odor, dust, fumes or gases which are noxious, toxic or corrosive, suspended solid or liquid particles, or any air contaminant which may obscure an observer's vision?*

Supporting Narrative: The project is not expected to involve equipment or operations that will exceed DEP or EPA air quality standards. The project HVAC designer will confirm compliance for any equipment with local, state or federal guidelines.

- (c) *Does the proposal conform to applicable local, State DEP and Federal EPA water quality standards, including but not limited to erosion and sedimentation, runoff control, and solid wastes and hazardous substances?*

Supporting Narrative: The development proposal will comply with applicable local, state and federal water quality standards including erosion & sediment control during construction and runoff control. The site will include provisions for routine solid waste collection and storage for pickup by contracted vendor. The building will undergo environmental review for known contaminants of environmental concern (i.e. asbestos, lead paint, or related items) and a cleanup program will take place in accordance with state and federal requirements prior to the completion of renovations and occupancy of the building. The development team is currently investigating the location and conditions of a possible underground storage tank at the north end of the building related to oil storage for the building's heating systems. The developer is engaging Ransom Environmental for assistance on environmental review.

- (d) *Will all sewage and industrial wastes be treated and disposed of in such a manner as to comply with applicable federal, state and local standards?*

Supporting Narrative: The project will involve 47 residential housing units which are expected to discharge only routine residential wastewater to the public wastewater disposal system. No special or industrial waste will be generated by the development.

- (e) *Shoreland and Wetland Districts: Will the proposal:*

- i. Maintain safe and healthful conditions;*
- ii. Not result in water pollution, erosion, or sedimentation to surface waters;*
- iii. Adequately provide for the disposal of all wastewater;*
- iv. Not have an adverse impact on spawning grounds, fish, aquatic life, bird or other wildlife habitat;*
- v. Conserve shore cover and visual, as well as actual points of access to inland and coastal waters;*
- vi. Protect archeological and historic resources as designated in the 1988 Growth Management Plan;*
- vii. Avoid problems associated with floodplain development and use; and*
- viii. Conform with the provisions of section 5.3.1, Special Shoreland Standards?*

Supporting Narrative: The development site does not involve activities within any Shoreland or Wetland District so impacts to such resources are not anticipated.

x. *Performance Standards*

(6) *PERFORMANCE STANDARDS:*

- (a) *Does the proposal comply with all applicable performance and dimensional standards as outlined in this ordinance?*

Supporting Narrative: The proposal will comply with the applicable code provisions to the best of our understanding.

- (b) *Can the proposed land use be conducted so that noise generated shall not exceed the performance levels specified in the performance standards section of this ordinance?*

Detailed plans for the elimination of objectionable noises may be required before the issuance of a building permit.

Supporting Narrative: The proposal includes 47 housing units geared toward senior level housing so the noise generated is expected to be at or below normal noise levels as similar residential uses.

- (c) *If the proposal involves intense glare or heat, whether direct or reflected, is the operation conducted within an enclosed building or with other effective screening in such a manner as to make such glare or heat completely imperceptible from any point along the property line? Detailed plans for the elimination of intense glare or heat may be required before issuance of a building permit. Temporary construction is excluded from this criterion.*

Supporting Narrative: The project does not involve activities involving intense glare or heat therefore no impacts are anticipated.

- (d) *Is the exterior lighting, except for overhead street lighting and emergency warning or traffic signals, installed in such a manner that the light source will be sufficiently obscured to prevent excessive glare on public streets and walkways or into any residential area?*

Supporting Narrative: The team is engaging a lighting consultant to prepare a site lighting plan compliant with local requirements as well as national park service requirements.

- (e) *Does the landscaping screen the parking areas, loading areas, trash containers, outside storage areas, blank walls or fences and other areas of low visual interest from roadways, residences, public open space (parks) and public view?*

Supporting Narrative: The applicant is currently working with a landscape architect for the development of a landscape treatment plan that will otherwise enhance and/or supplement existing site conditions. Measures including a tenant garden space, pedestrian paths, and various additional plantings are expected to improve the overall site appearance and offer additional buffering and screening from adjacent properties and the passing public.

- (f) *Are all the signs in the proposal in compliance with provisions of this ordinance?*

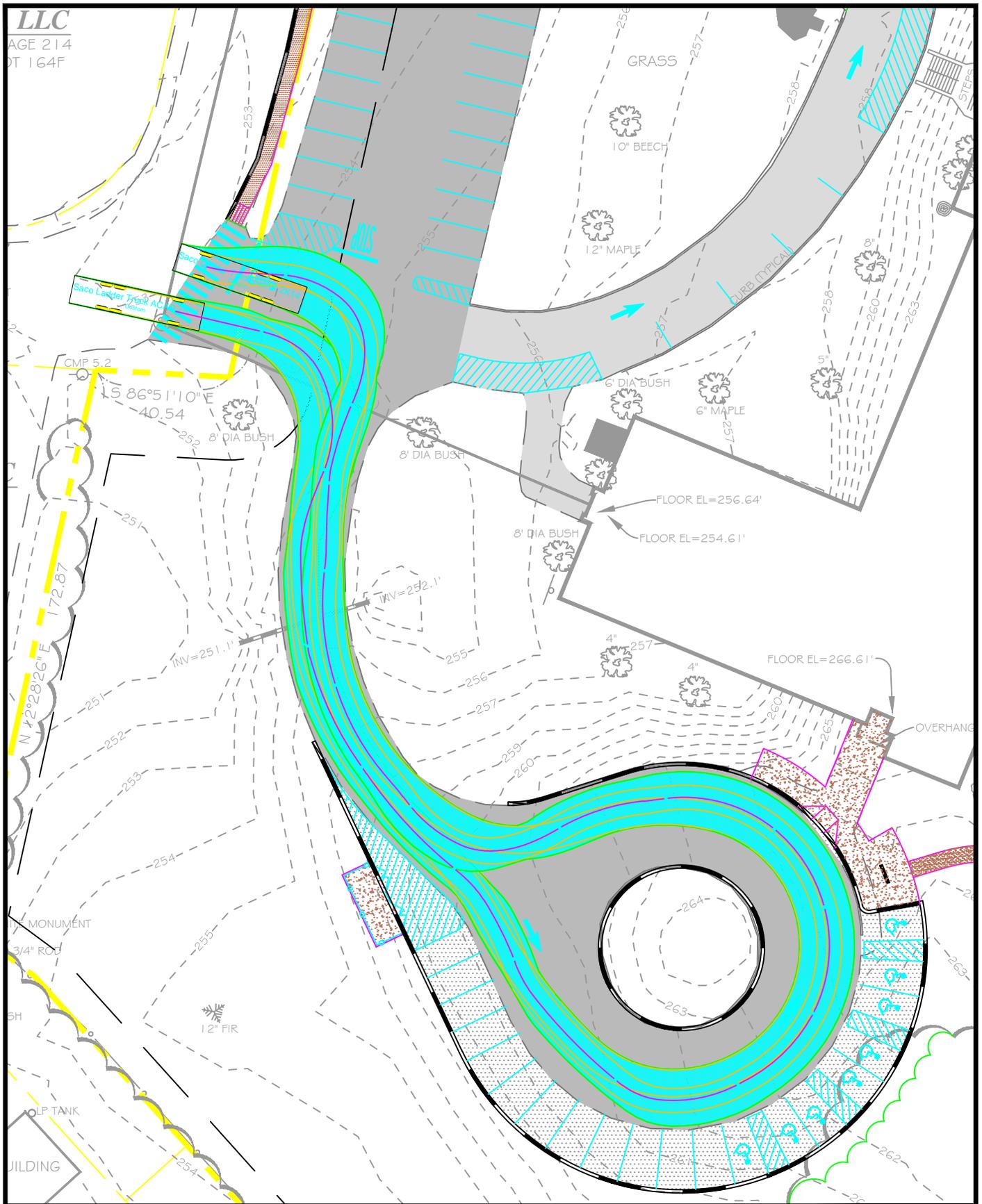
Supporting Narrative: Current site plan contains only directional and regulatory signage compliant with MUTCD Standards for site development. Any additional sign related to development information (i.e. a project sign) will be handled separately by the developer/applicant.

y. *Financial and Technical Ability*

(7) *FINANCIAL AND TECHNICAL ABILITY:*

- (a) *Does the applicant have adequate technical ability to meet the terms of the ordinance?*
- (b) *Does the applicant have adequate financial ability to construct the development in compliance with the terms of the ordinance?*

Supporting Narrative: Evidence of the applicant's financial and technical capacity is contained in Attachment D to this submission.



HODGKINS SCHOOL APARTMENTS

**FIRE TRUCK AUTO TURN
SIMULATION**

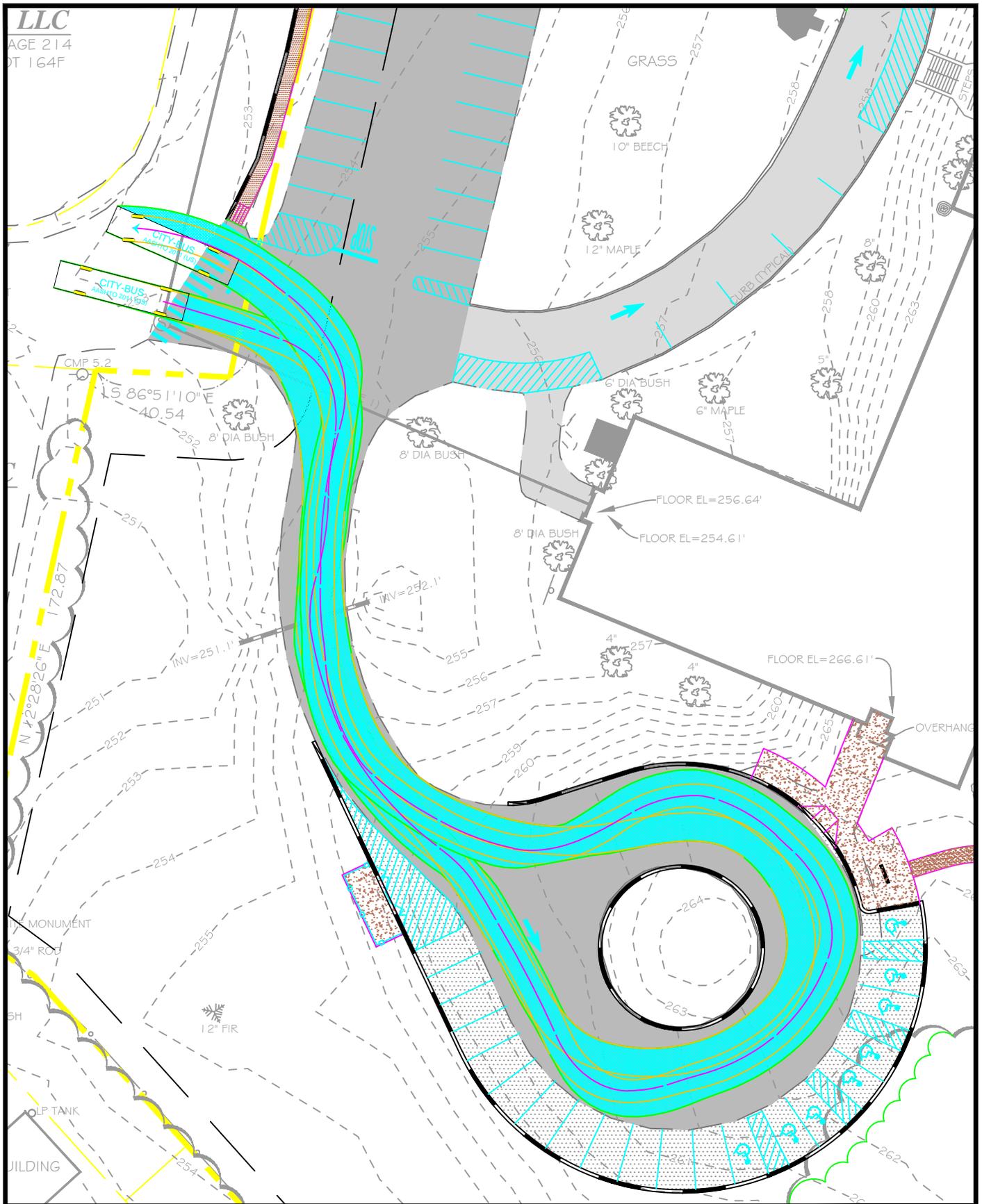


FAY, SPOFFORD & THORNDIKE
ENGINEERS • PLANNERS • SCIENTISTS
778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106

DRAWN:	JRP	DATE:	JULY 8 2014
DESIGNED:	SRB	SCALE:	1"=40'
CHECKED:	SRB	JOB NO.:	BA-M040
FILE NAME:	BA-M040-AT		

FIGURE

1



HODGKINS SCHOOL APARTMENTS

CITY-BUS (AASHTO 2011) AUTO
TURN SIMULATION



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DESIGNED:	SRB	SCALE:	1"=40'
CHECKED:	SRB	JOB NO.	BA-M040
FILE NAME:	BA-M040-AT		

FIGURE
2

ATTACHMENT C

**PURCHASE & SALE AGREEMENT OR
OTHER DOCUMENT TO SHOW STANDING**

Demonstration of Right, Title and Interest is the Council Order authorizing the sale and lease of the building. This Council Order should suffice for planning board purposes.

**MINUTES FOR THE CITY COUNCIL MEETING
COUNCIL CHAMBERS
THURSDAY, May 15, 2014
6:30 P.M.**

All members of Council were present except Councilor Bilodeau; Mayor Stokes presided.

Proclamation - National Kids to Park Day

Public comments were held on items listed on the agenda.

NEW BUSINESS

READ AND TABLED

14-090

ORDERED, in accordance with the City of Augusta Code of Ordinances, Appendix A, Land Use Ordinance Section 5.1.15.1.A.1.o, that the City Council authorizes the City Manager to modify the hours of work of the gas utility contractors to perform work on their infrastructure. Areas of work where modified work hours may be needed are throughout the City and doing this work at night is beneficial to public safety by minimizing disruption of daytime traffic patterns. Times to be determined based on the Contractor's request and as approved by the City Manager.

Motion for passage by: Byron Second by Grant

Motion to table for 30 days by: Paradis Second by: Munson
Yeas: 6; Grant, Paradis, O'Brien
 Rollins, McCormick, Munson
Nays: 1; Byron

NEW BUSINESS (Con't)

FIRST READING

14-092

BE IT ORDAINED, By the City Council of the City of Augusta, as follows:
That Chapter 18, section 34 Schedule of stop signs, flashing red lights, of the Revised Code of Ordinances 1990, as amended, be further amended by deleting the following:

Throughway Entering Street
Cony Street ~~Arsenal Street~~ (Delete)

That Chapter 18, section 36 Schedule of yield right-of-way signs, of the Revised Code of Ordinances 1990, as amended, be further amended by adding the following:

Throughway Entering Street
Cony Street Arsenal Street

(FIRST READING, NO VOTE TAKEN)

NEW BUSINESS (Con't)

READ AND PASSED

14-082

ORDERED, That the minutes of the City Council meetings held May 1, 2014 and May 8, 2014, submitted by the City Clerk be approved.

Motion for passage by: Byron Second by: Paradis

Yeas: 7; Byron, Grant, Paradis, O'Brien
 Rollins, McCormick, Munson

Nays: 0

14-083

ORDERED, That the Roll of Accounts for the month of April, 2014 in the amount of \$4,645,628.16 be approved.

Motion for passage by: Byron Second by: Paradis

Yeas: 7; Byron, Grant, Paradis, O'Brien
 Rollins, McCormick, Munson

Nays: 0

14-084

ORDERED, That Louise Lerley, be appointed Ward 1 Warden for the upcoming June 10, 2014 election.

Motion for passage by: Byron Second by: Paradis

Yeas: 7; Byron, Grant, Paradis, O'Brien
 Rollins, McCormick, Munson

Nays: 0

14-085

ORDERED, That Voter Registration hourly schedule for open session for the June 10, 2014 Primary and City of Augusta Referendum Election be:

Thursday, June 5, 2014 from 1:00 p.m. to 6:00 p.m.

The intent of this order is to change the evening session time in accordance with M.R.S.A., Title 21-A, Section 122(8), as amended.

Motion for passage by: Byron Second by: Grant

Yeas: 7; Byron, Grant, Paradis, O'Brien
 Rollins, McCormick, Munson

Nays: 0

14-089

ORDERED, in accordance with the City of Augusta Code of Ordinances, Appendix A, Land Use Ordinance Section 5.1.15.1.A.1.o, that the City Council authorizes the City Manager to modify the hours of work of the contractor retained by the Greater Augusta Utility District to clean and maintain catch basins and perform other work on their infrastructure. Areas of work where modified work hours may be needed are throughout the City. Doing this work at night is beneficial to public safety as it minimizes potential disruption to daytime traffic patterns. Times to be determined based on the Contractor's request/schedule and approved by the City Manager.

Motion for passage by: Byron Second by: Paradis

Yeas: 7; Byron, Grant, Paradis, O'Brien
 Rollins, McCormick, Munson

Nays: 0

14-091

Ordered, That the City Manager is authorized to execute a ninety year lease of the Hodgkins School Property to Augusta Housing Authority subject to review and approval by Corporation Counsel.

Motion for passage by: Rollins Second by: Paradis

Yeas: 7; Byron, Grant, Paradis, O'Brien
 Rollins, McCormick, Munson

Nays: 0

Meeting adjourned at 8:20 p.m.

Respectfully submitted,

Barbara E. Wardwell, City Clerk
May 19, 2014

ATTACHMENT D

EVIDENCE OF FINANCIAL AND TECHNICAL CAPACITY

July 8, 2014

Planning Board
City of Augusta
City Center Plaza
16 Cony Street
Augusta, ME 04330

Re: Hodgkins School

To Whom It May Concern:

Developers Collaborative Predevelopment LLC is acting as the Agent for the development of the Hodgkins School in Augusta, Maine for Augusta Housing Authority (AHA) and Augusta Housing Service Corporation (AHSC). AHA/AHSC has an extensive relationship in good standing with The Bank of Maine.

We believe that AHA/AHSC has the financial capacity to successfully complete the proposed development of Hodgkins School.

Although the Bank has not committed to finance this project, the Bank would be pleased to consider AHA/AHSC's request to finance the project at the appropriate time.

If you need any further information, please contact me at 207.516.5635.

Very truly yours,



Lorraine H. Boston
Senior Vice President, Senior Commercial Lender

ATTACHMENT E

SITE FIGURES



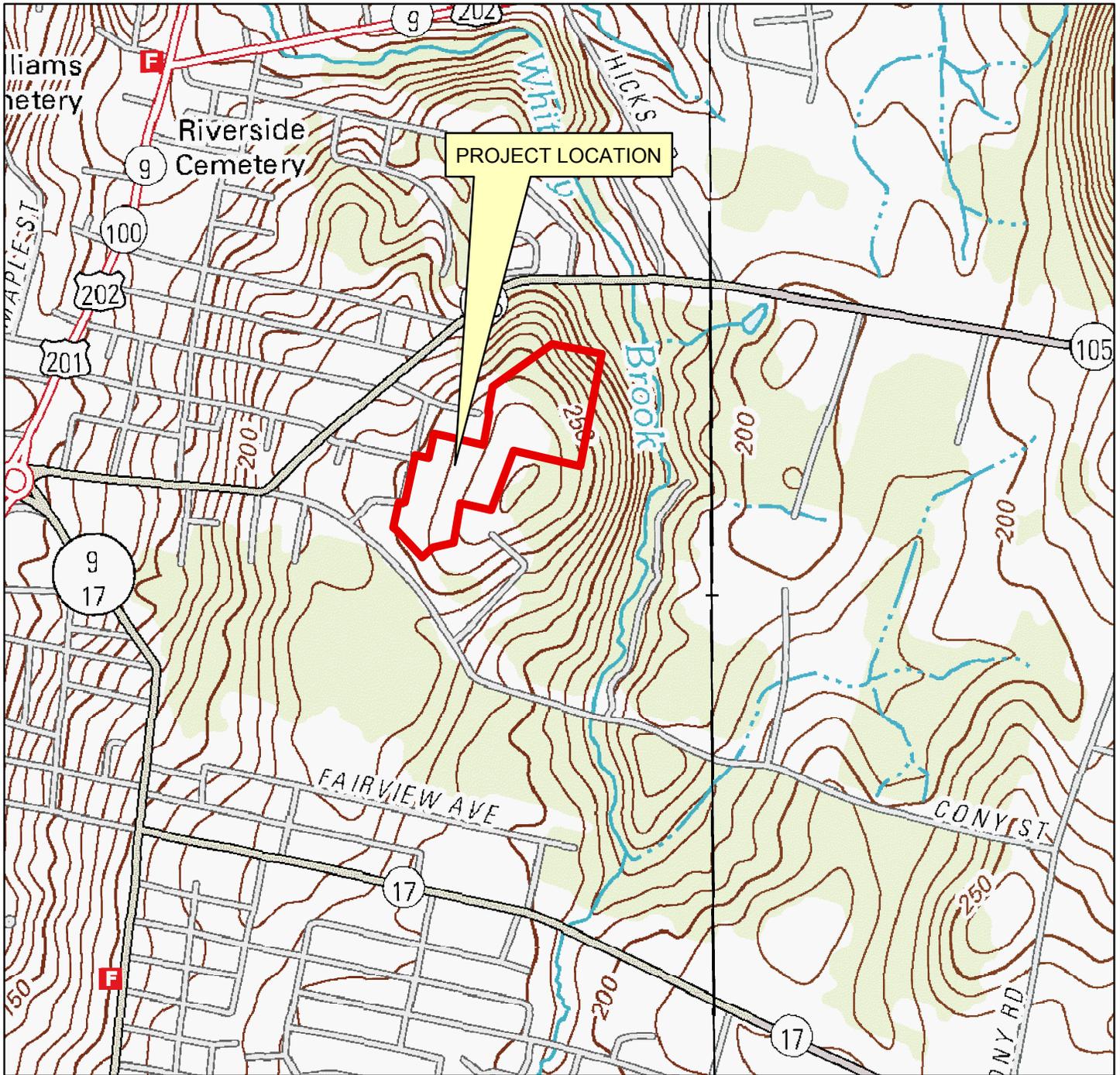
LOCATION MAP
REDEVELOPMENT OF HODGKINS SCHOOL
AUGUSTA, MAINE

SOURCE: MAINE OFFICE OF GIS

Fay, Spofford & Thorndike, Inc.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
www.fstinc.com

DRAWN: DED
CHECKED: SRB
DATE: JULY 2014
FILENAME: MAINE BASE MAP
SCALE: 1" = 2000'

FIGURE
1



**USGS LOCATION MAP
REDEVELOPMENT OF HODGKINS SCHOOL
AUGUSTA, MAINE**

SOURCE: MAINE OFFICE OF GIS - MAPS

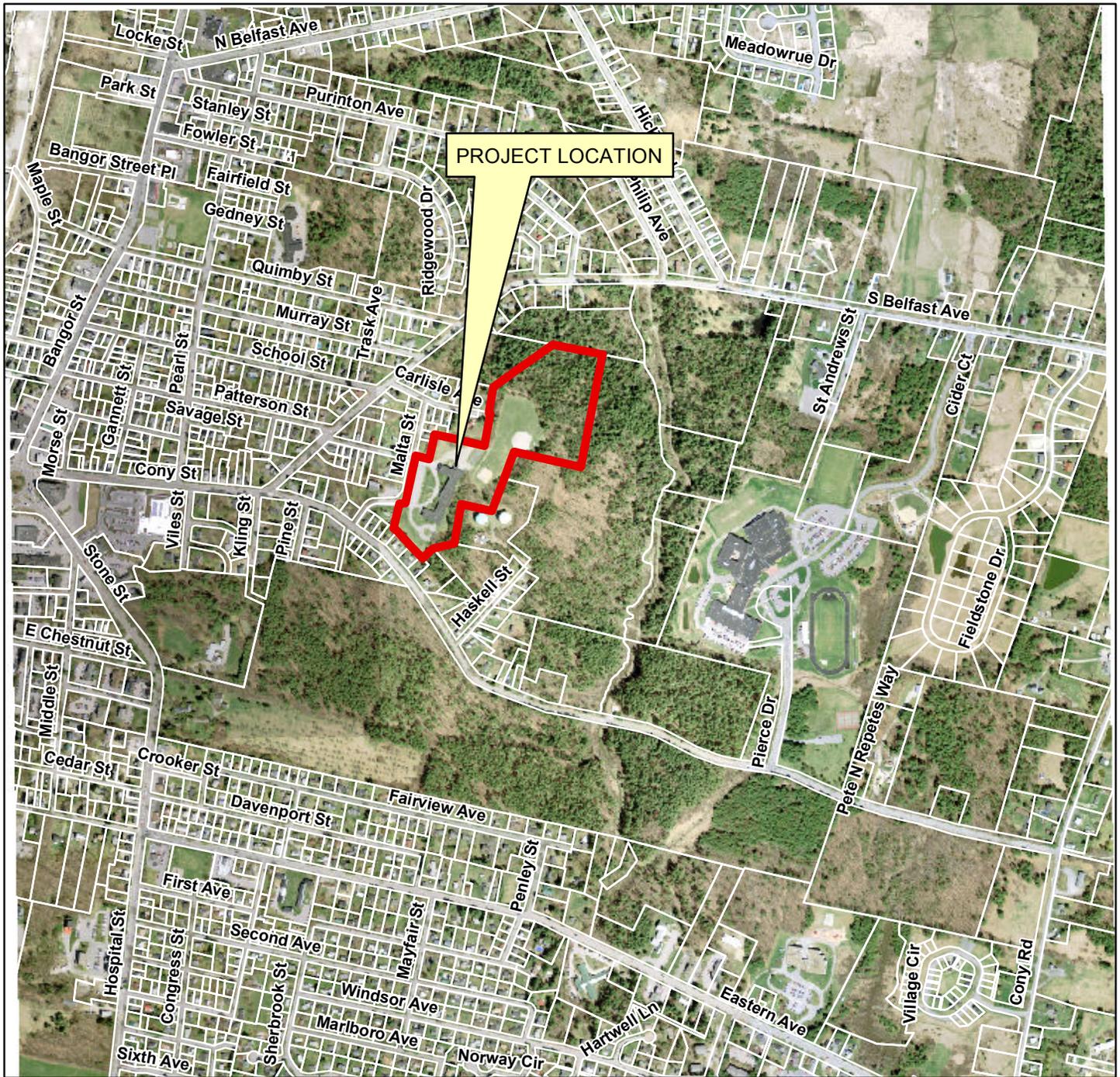
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DATE:	JULY 2014
FILENAME:	BA-M040 USGS
SCALE:	1 inch = 1,000 feet

FIGURE

2



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TAX MAP
REDEVELOPMENT OF HODGKINS SCHOOL
AUGUSTA, MAINE

SOURCE: MAINE OFFICE OF GIS - MAPS

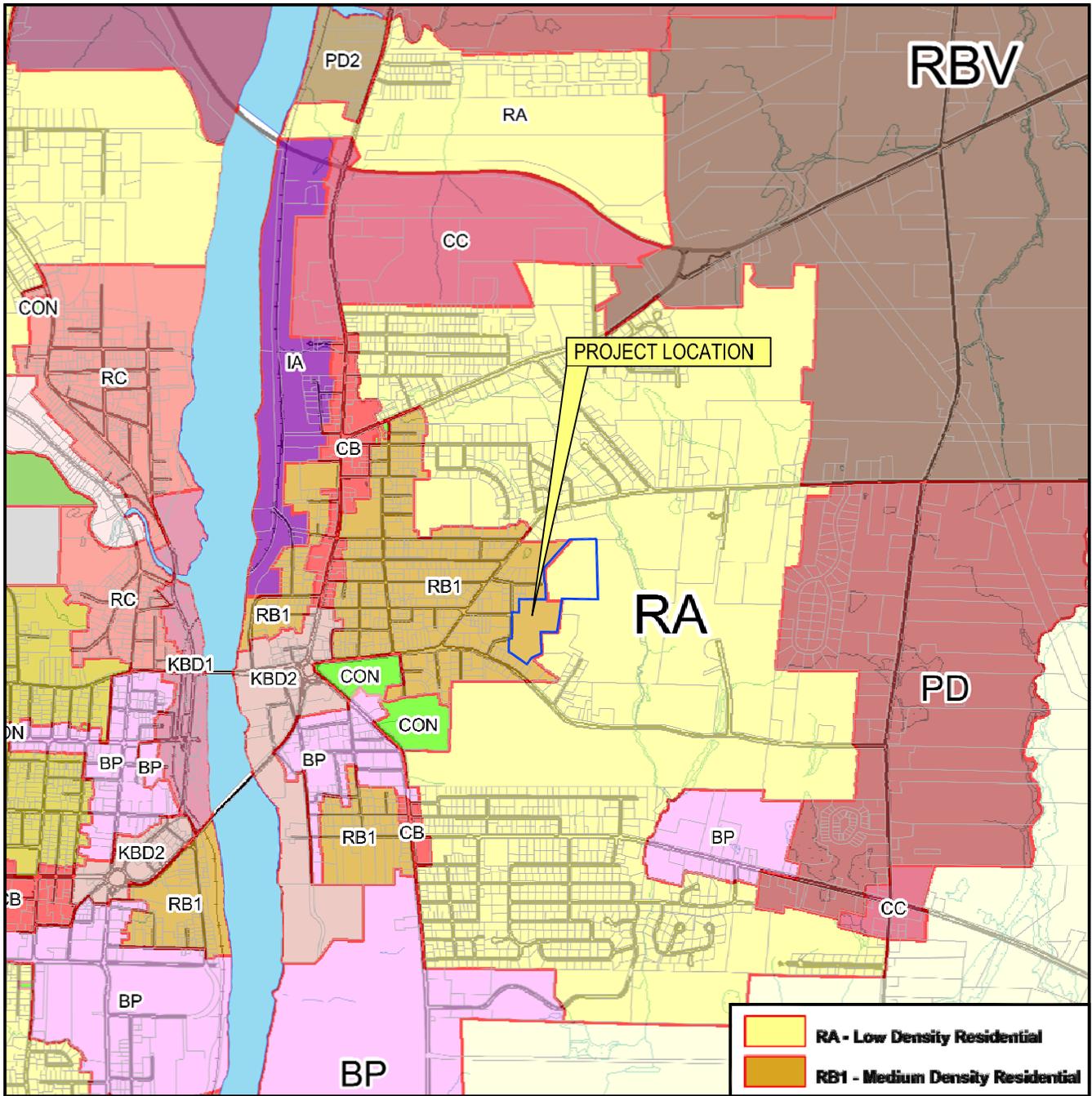
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 CHECKED: SRB
 DATE: JULY 2014
 FILENAME: BA-M040 TAX MAP
 SCALE: 1 inch = 1,000 feet

FIGURE

3



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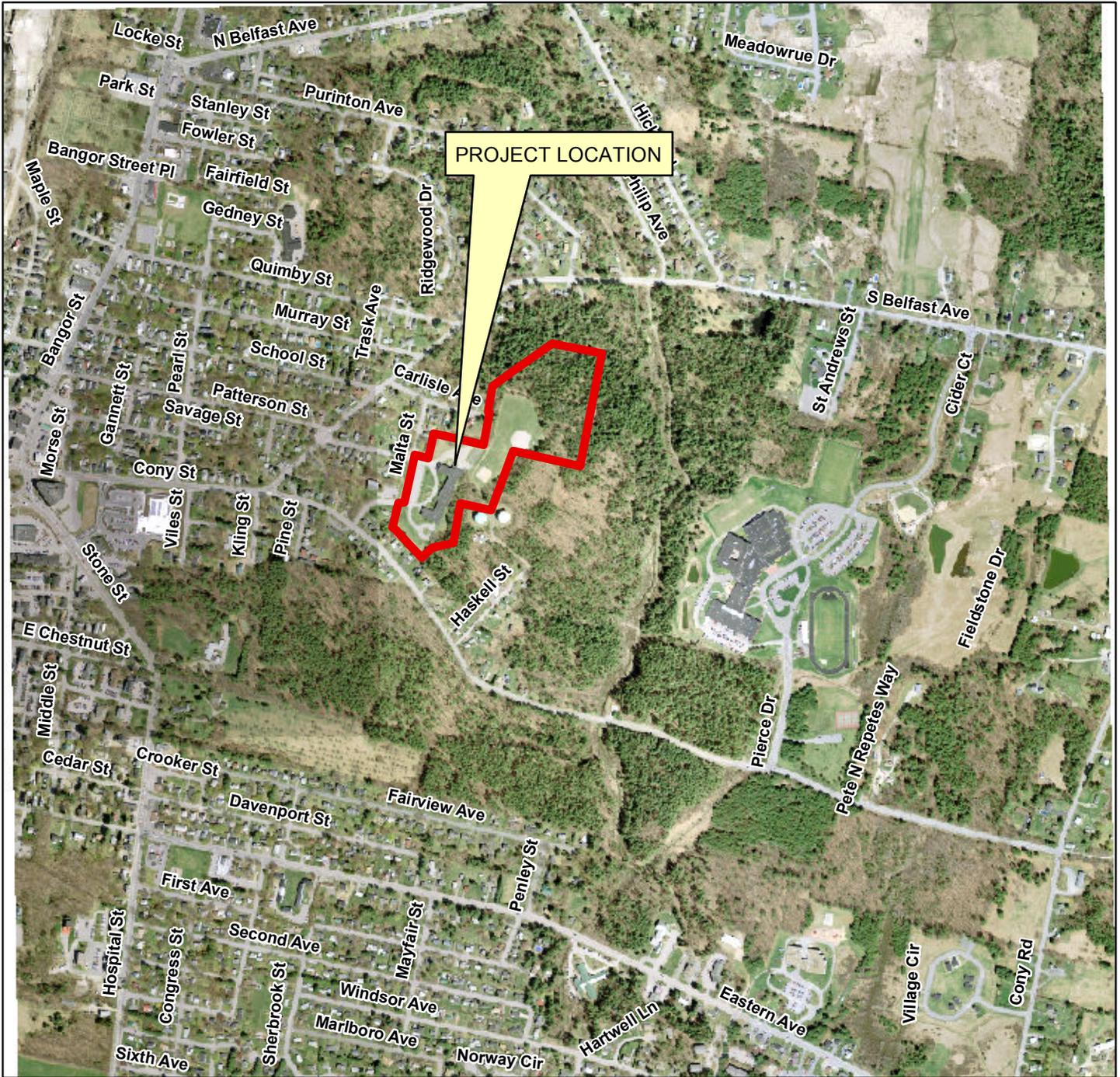
ZONING MAP
REDEVELOPMENT OF HODGKINS SCHOOL
AUGUSTA, MAINE

SOURCE: CITY OF AUGUSTA

Fay, Spofford & Thorndike, Inc.
 778 MAIN STREET, SUITE 8
 SOUTH PORTLAND, ME 04106
 207.775.1121
 www.fstinc.com

DRAWN: DED
 CHECKED: SRB
 DATE: JULY 2014
 FILENAME: FIGURES
 SCALE: 1" = 2000'

FIGURE
4



**AERIAL PHOTOGRAPH
REDEVELOPMENT OF HODGKINS SCHOOL
AUGUSTA, MAINE**

SOURCE: MAINE OFFICE OF GIS - MAPS

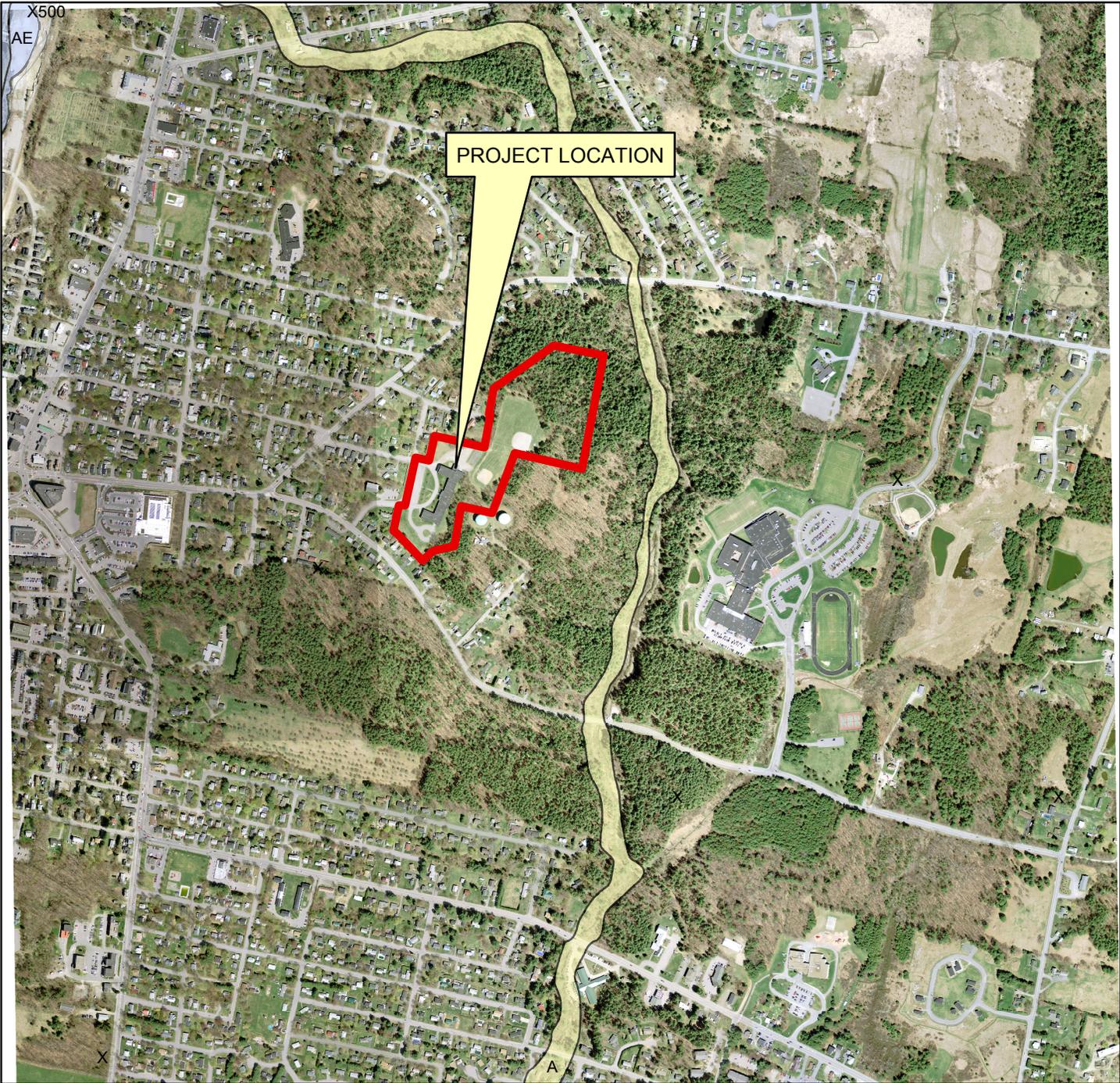
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 CHECKED: SRB
 DATE: JULY 2014
 FILENAME: BA-M040 AERIAL
 SCALE: 1 inch = 1,000 feet

FIGURE

5



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FLOOD MAP
 REDEVELOPMENT OF HODGKINS SCHOOL
 AUGUSTA, MAINE

SOURCE: MAINE OFFICE OF GIS - MAPS

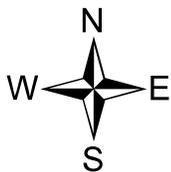
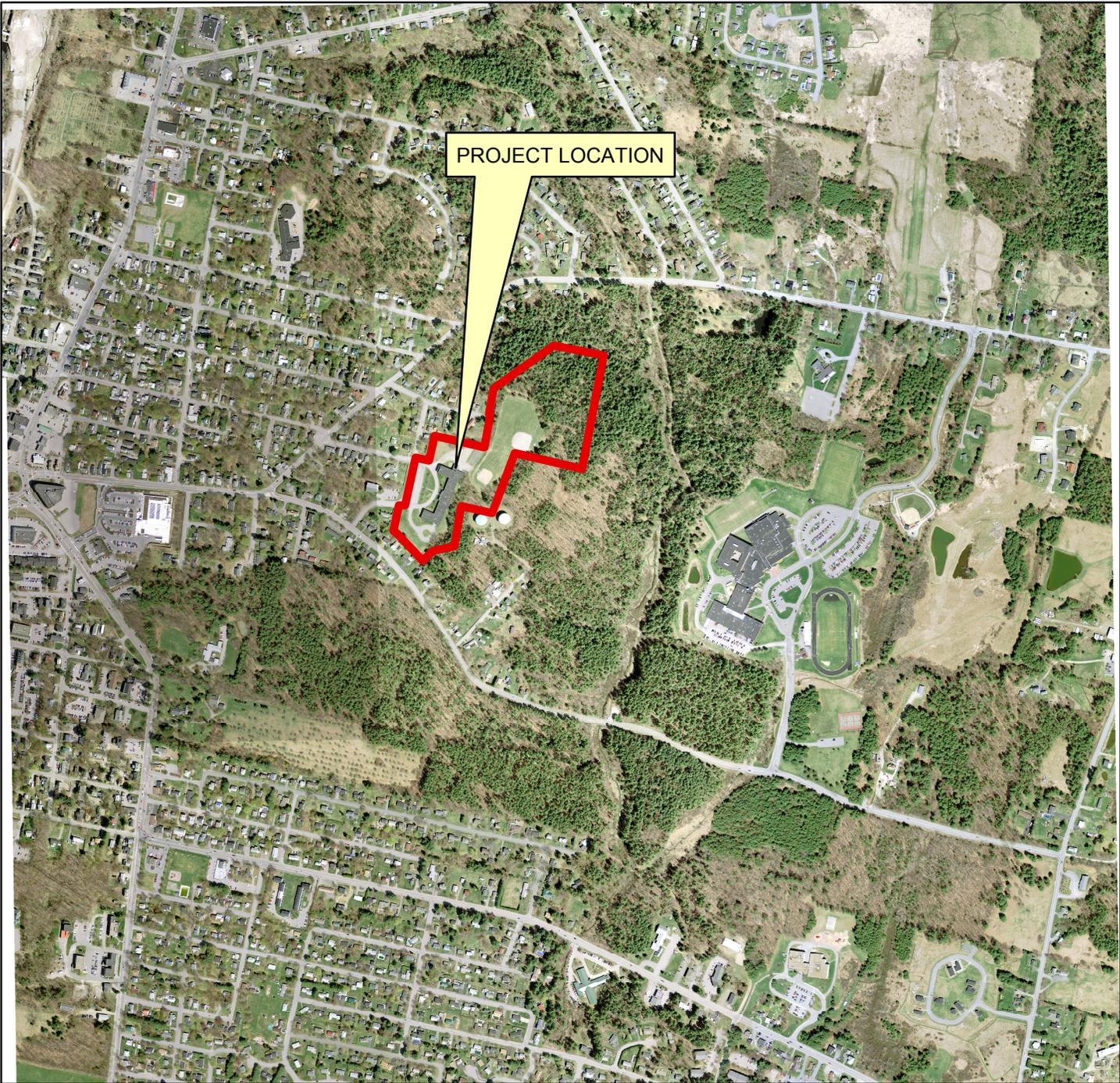
DRAWN: DED
 CHECKED: SRB
 DATE: JULY 2014
 FILENAME: BA-M040 FLOOD
 SCALE: 1 inch = 1,000 feet

FIGURE

7



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**SAND AND GRAVEL AQUIFER MAP
REDEVELOPMENT OF HODGKINS SCHOOL
AUGUSTA, MAINE**

SOURCE: MAINE OFFICE OF GIS - MAPS

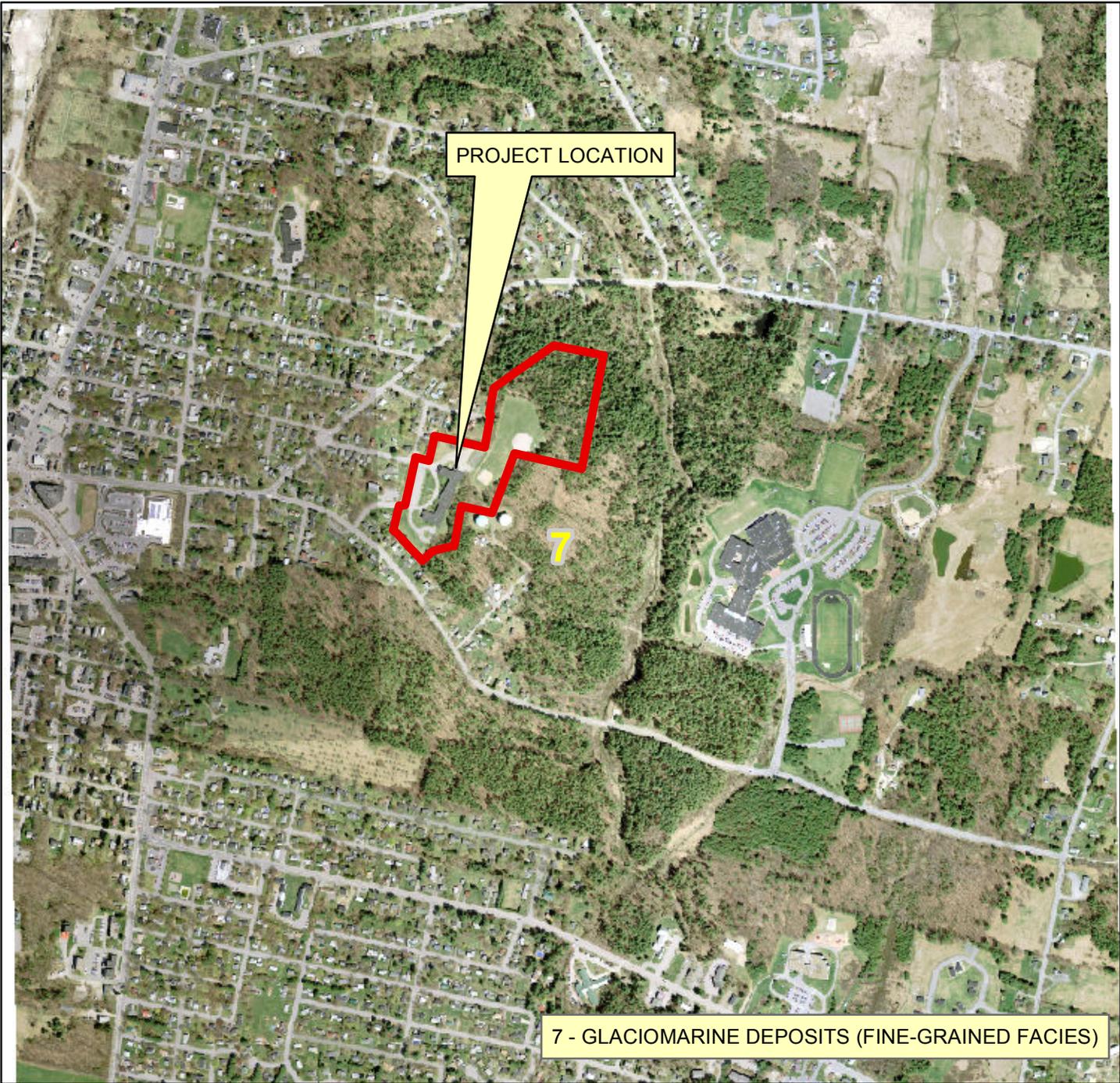
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 CHECKED: SRB
 DATE: JULY 2014
 FILENAME: BA-M040 AQUIFER
 SCALE: 1 inch = 1,000 feet

FIGURE

9



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GEOLOGY MAP
REDEVELOPMENT OF HODGKINS SCHOOL
AUGUSTA, MAINE

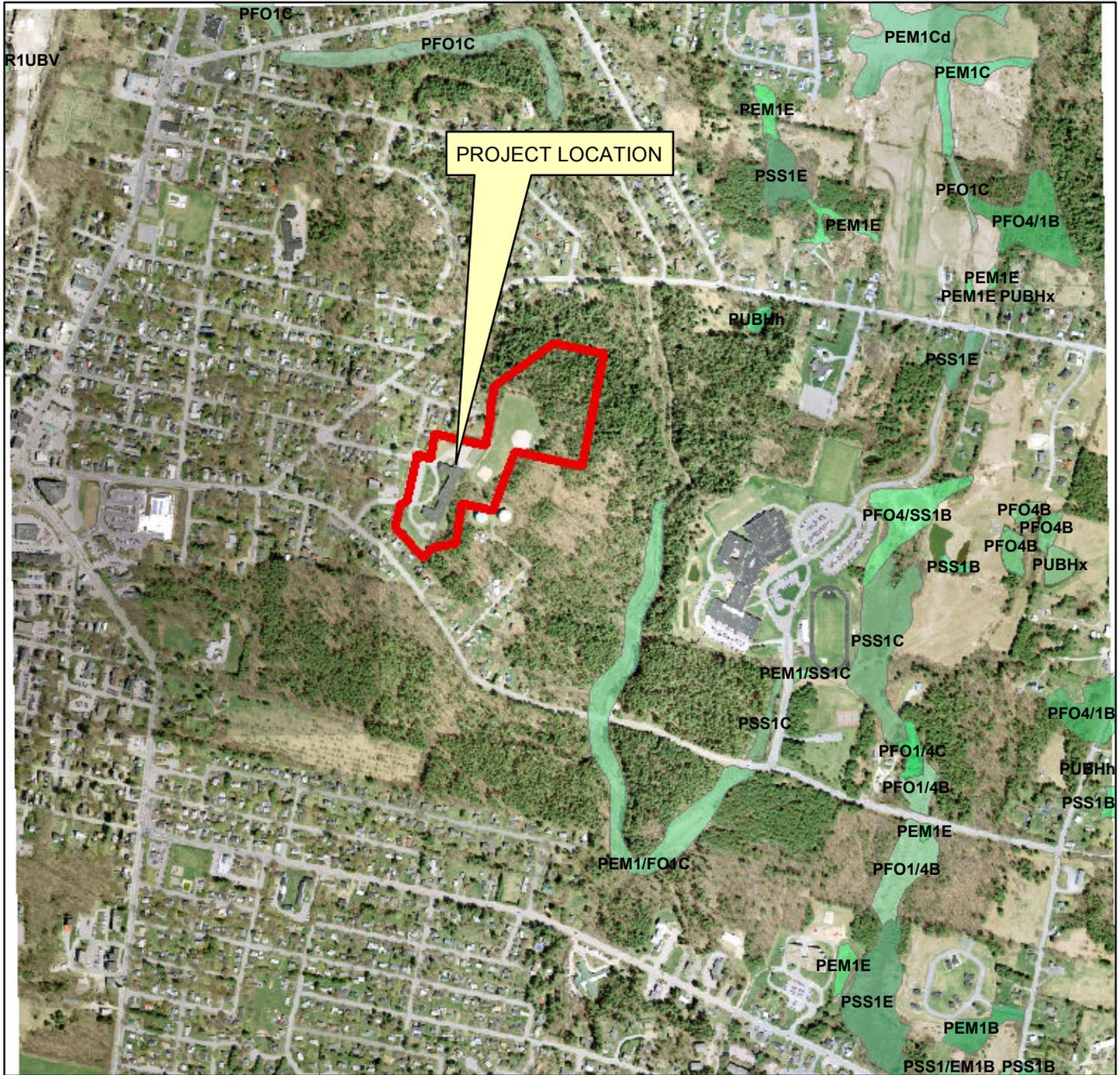
SOURCE: MAINE OFFICE OF GIS - MAPS

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DATE:	JULY 2014
FILENAME:	BA-M040 GEOLOGY
SCALE:	1 inch = 1,000 feet

FIGURE
10



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NWI MAP
 REDEVELOPMENT OF HODGKINS SCHOOL
 AUGUSTA, MAINE

SOURCE: MAINE OFFICE OF GIS - MAPS

DRAWN: DED
 CHECKED: SRB
 DATE: JULY 2014
 FILENAME: BA-M040 NWI
 SCALE: 1 inch = 1,000 feet

FIGURE

11



FAY, SPOFFORD & THORNDIKE, INC.
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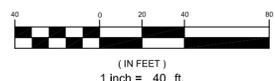
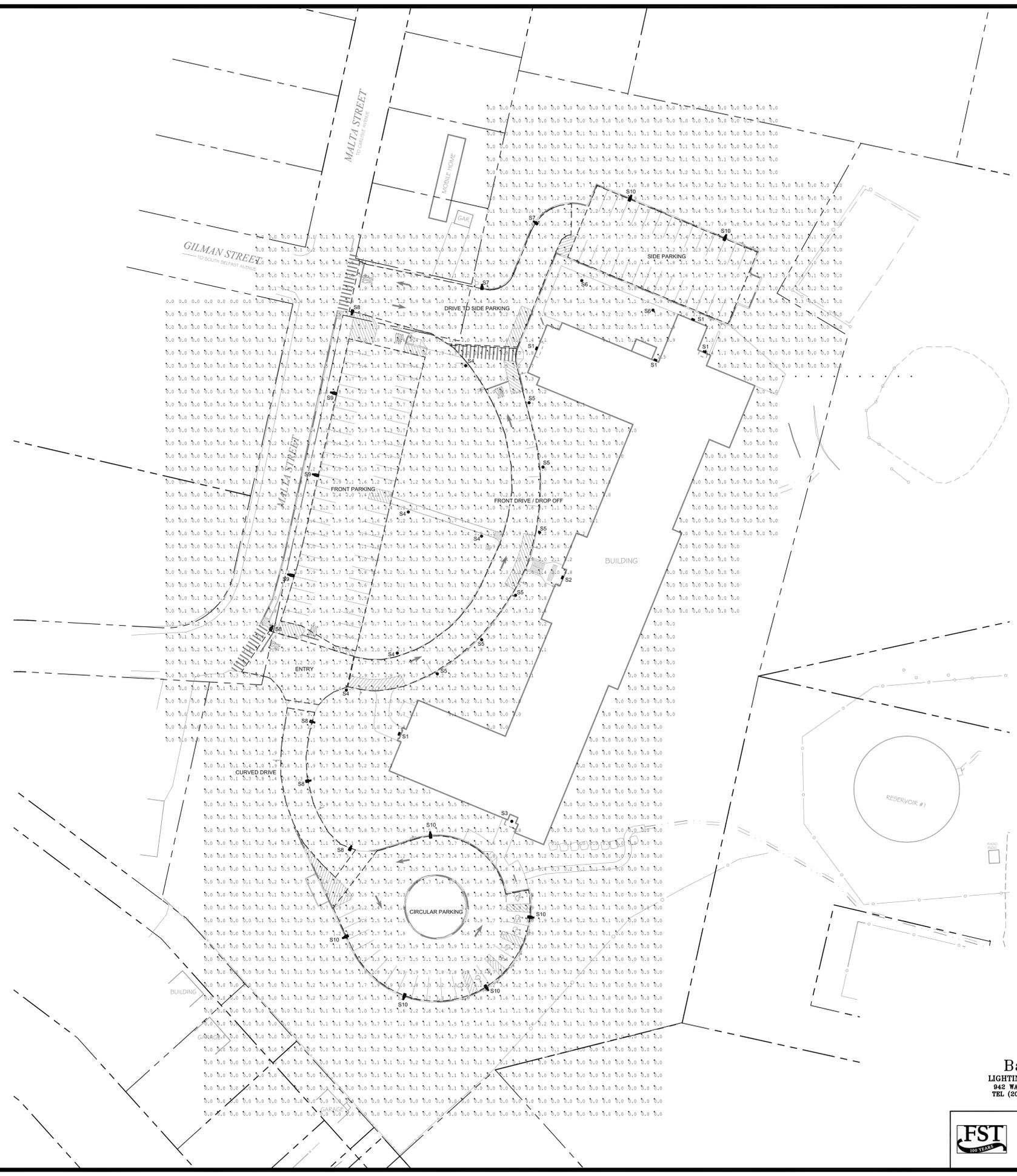
ATTACHMENT F

SITE LIGHTING PLAN AND SUPPORTING NARRATIVE



NOTES:

1. CALCULATIONS REPRESENT INITIAL FOOTCANDLE LEVELS AT GRADE.
2. THERE WAS NO LIGHT LOSS FACTOR APPLIED IN THE CALCULATIONS.
3. MOUNTING HEIGHTS FOR TYPE S1, S2 & S3 WERE CALCULATED AS 10FT. TYPES S4, S5 & S6 LIGHTING FIXTURES ARE TO BE MOUNTED ON A 10FT TALL POLE ATOP A 6IN CONCRETE BASE. TYPES S7, S8, S9 & S10 ARE TO BE MOUNTED ON A 16FT TALL POLE ATOP A 36IN CONCRETE BASE.
4. CALCULATION RESULTS ARE AS FOLLOWS:
 SIDE PARKING
 AVE 1.97 MAX 4.2 MIN 0.7 MAX:MIN 6.0:1
 FRONT PARKING
 AVE 1.62 MAX 4.6 MIN 0.3 MAX:MIN 15.33:1
 CIRCULAR PARKING
 AVE 2.51 MAX 4.2 MIN 0.4 MAX:MIN 10.50:1
 FRONT DRIVE / DROP OFF
 AVE 2.71 MAX 5.2 MIN 0.4 AVE:MIN 3.78 MAX:MIN 13.0:1
 CURVED DRIVE
 AVE 2.33 MAX 3.3 MIN 0.5 AVE:MIN 4.66:1
 DRIVE TO SIDE PARKING
 AVE 1.47 MAX 3.6 MIN 0.5 AVE:MIN 2.94:1
 ENTRY INTERSECTION
 AVE 2.14 MAX 3.3 MIN 0.7 AVE:MIN 3.06:1
 5. MAXIMUM LIGHTING LEVEL ACROSS THE PROPERTY LINE, NOT COUNTING THE ROADWAY OR PLAYING FIELD WAS CALCULATED AS 0.3 FOOTCANDLES, THE MINIMUM REQUIRED BY THE AUGUSTA CITY ORDINANCE.



Bartlett Design
 LIGHTING & ELECTRICAL ENGINEERING
 942 WASHINGTON STREET, BATH, ME 04530
 TEL (207) 443-5447 FAX (207) 443-5560

FST
 100 YEARS
FAY, SPOFFORD & THORNDIKE
 ENGINEERS - PLANNERS - SCIENTISTS
 778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106

Prepared For: AUGUSTA HOUSING AUTHORITY	Project: HODGKINS SCHOOL APARTMENTS AUGUSTA, ME	Revisions:
353 WATER STREET AUGUSTA, MAINE 04330	17 MALTA STREET AUGUSTA, MAINE	07.11.14 Site Plan Submission
Architect: ARCHETYPE Architects	Date: 11 JULY 2014	Scale: 1" = 40'
48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	PHOTOMETRIC LIGHTING PLAN	E-0.1

ATTACHMENT G

**SUPPORTING PLANS INCLUDING SITE PLANS,
PRELIMINARY FLOOR PLAN AND BUILDING ELEVATIONS**

PROJECT PARCEL SITE
 AUGUSTA TAX ASSESSOR'S MAP & LOT NUMBERS

MAP	LOT
46	8

HODGKINS SCHOOL APARTMENTS

DEVELOPERS COLLABORATIVE

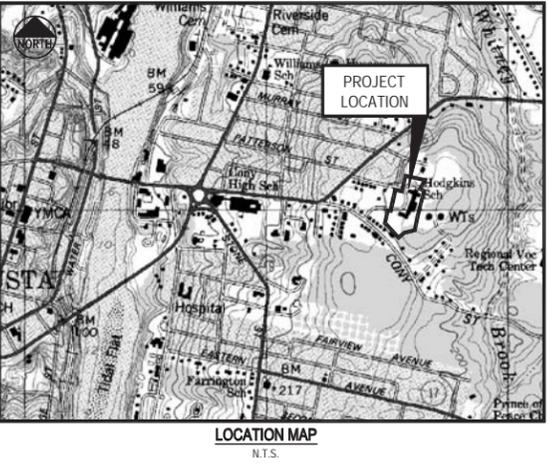
PREDEVELOPMENT, LLC / AUGUSTA HOUSING AUTHORITY

17 MALTA STREET

AUGUSTA, MAINE

PERMIT DOCUMENT

11 JULY 2014



APPLICANT/DEVELOPER:
 DEVELOPERS COLLABORATIVE
 PREDEVELOPMENT, LLC
 IN ASSOCIATION WITH AUGUSTA
 HOUSING SERVICE CORPORATION
 17 CHESTNUT STREET
 PORTLAND, ME 04101
 ATTN: KEVIN BUNKER

CURRENT PROPERTY OWNER:
 CITY OF AUGUSTA
 CITY CENTER PLAZA
 16 CONY STREET
 AUGUSTA, ME 04330

PREPARED BY
CIVIL ENGINEER:
 Fay, Spofford & Thorndike
 778 MAIN STREET, SUITE 8
 SOUTH PORTLAND, MAINE 04106
 207.775.1121
 ATTN: STEPHEN R. BUSHEY, P.E.
 sbushey@delucahoffman.com

SURVEYOR:
 E.S. Coffin Engineering & Surveying
 432 CONY ROAD
 P.O. BOX 4687
 AUGUSTA, MAINE 04330
 207.623.9475

ARCHITECT:
 Archetype
 48 UNION WHARF
 PORTLAND, MAINE 04101
 207.772.6022
 ATTN: DAVID LLOYD

MECHANICAL ENGINEER:
 Kurt Magnusson
 10 FOREST FALLS DRIVE #10
 YARMOUTH, MAINE 04096-4900
 207.846.1441

ELECTRICAL ENGINEER:
 Bartlett Design
 942 WASHINGTON STREET
 BATH, MAINE 04530
 207.443.5447
 ATTN: LARRY BARTLETT

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- C-1.0 COVER SHEET
- C-1.1 GENERAL NOTES AND LEGEND
- C-2.0 BOUNDARY AND TOPOGRAPHIC SURVEY BY E.S. COFFIN
- C-3.0 SITE LAYOUT AND UTILITY PLAN
- C-4.0 DRAINAGE, GRADING AND EROSION CONTROL PLAN
- C-5.0 LANDSCAPE PLAN (BY OTHERS)
- C-6.0 DETAILS
- C-7.0 DETAILS
- C-8.0 DETAILS
- C-9.0 DETAILS
- C-10.0 SITE LIGHTING PHOTOMETRIC PLAN (BY BARTLETT DESIGN)

UTILITIES

SEWER
 GREATER AUGUSTA UTILITY DISTRICT
 12 WILLIAMS STREET
 AUGUSTA, MAINE 04330
 MICHAEL MOREY
 (207) 622-3701

WATER
 GREATER AUGUSTA UTILITY DISTRICT
 12 WILLIAMS STREET
 AUGUSTA, MAINE 04330
 MICHAEL MOREY
 (207) 622-3701

ELECTRIC
 CENTRAL MAINE POWER
 162 CANCO ROAD
 PORTLAND, MAINE 04103
 GARY CRABTREE
 (207) 828-2860

TELEPHONE
 FAIRPOINT COMMUNICATIONS
 139 STATE STREET
 AUGUSTA, MAINE 04330
 JIM SCHEID
 (207) 623-2031

DIG SAFE
 1-800-922-4455
 (72 Hours prior to start of construction)

PERMITS

TYPE OF PERMIT

SITE PLAN APPLICATION /
 SUBDIVISION APPLICATION

BUILDING PERMIT

GOVERNING BODY

CITY OF AUGUSTA PLANNING DEPARTMENT
 CITY CENTER PLAZA
 AUGUSTA, MAINE 04330
 ATTN: MATT NAZAR

CITY OF AUGUSTA CODE ENFORCEMENT OFFICE
 CITY CENTER PLAZA
 AUGUSTA, MAINE 04330
 ATTN: GARY FULLER

STATUS

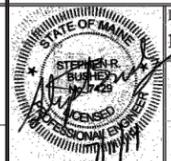
PRELIMINARY SITE PLAN APPLICATION ON JULY 11, 2014

TO BE SUBMITTED BY CONTRACTOR
 PRIOR TO CONSTRUCTION

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.



Prepared For: AUGUSTA HOUSING SERVICE CORPORATION 353 WATER STREET AUGUSTA, MAINE 04330	Project: HODGKINS SCHOOL APARTMENTS AUGUSTA, ME 17 MALTA STREET AUGUSTA, MAINE	Revisions: 07.11.14 Site Plan Submission
Architect: ARCHETYPE Architects 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Date: 11-JULY 2014	Scale: C-1.0



COVER SHEET

GENERAL NOTES

- TOPOGRAPHIC DATA IS BASED ON A GROUND SURVEY CONDUCTED BY E.S. COFFIN, AUGUSTA, MAINE. BOUNDARY INFORMATION IS BASED ON GROUND SURVEY CONDUCTED BY E.S. COFFIN.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND THE SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, PAVING, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE POINTS.
- ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.

PERMITTING NOTES

- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF THE SITE PLAN REVIEW PERMIT FROM THE CITY OF AUGUSTA WHICH WILL BE MADE A PART OF THE CONTRACT BID DOCUMENTS. THE CONSTRUCTION WILL BE GOVERNED BY THE ZONING ORDINANCES WHICH ARE AVAILABLE FOR VIEWING AT THE OFFICE OF THE ENGINEER OR THE MUNICIPAL OFFICE.

- THE CONTRACTOR SHALL REVIEW THE ABOVE-REFERENCED PERMITS PRIOR TO SUBMITTING A BID FOR THIS PROJECT, AND INCLUDE COSTS AS NECESSARY TO COMPLY WITH THE CONDITIONS OF THESE PERMITS.

LAYOUT NOTES

- ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB OR BUILDING.
- ALL SIGNS INDICATED ON THE LAYOUT PLANS ARE TO MEET ALL REQUIREMENTS AND STANDARDS OF THE MAINE DEPARTMENT OF TRANSPORTATION AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- COORDINATES FOR CATCH BASIN AND MANHOLES ARE TO THE CENTER OF THE FRAME.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- PROPERTY LINE AND R.O.W. MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS, AT THE CONTRACTOR'S EXPENSE, BY A MAINE PROFESSIONAL LAND SURVEYOR.
- PROPOSED RIGHT-OF-WAY MONUMENTS AND PROPERTY LINE PINS SHALL BE INSTALLED UNDER THE DIRECTION OF A MAINE PROFESSIONAL LAND SURVEYOR.
- ALL HANDICAP PARKING SPACES ARE TO RECEIVE HANDICAP SIGNS AND PAVEMENT MARKINGS AS ILLUSTRATED ON THE DETAIL SHEETS. UNLESS OTHERWISE NOTED, ALL ON-SITE CURB SHALL BE GRANITE AND CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

GRADING AND DRAINAGE NOTES

- UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603 - PIPE CULVERTS AND STORM DRAINS, LATEST REVISION, WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
 - REINFORCED CONCRETE PIPE
 - POLYVINYL CHLORIDE (PVC) PIPE
 - SMOOTH BORE POLYETHYLENE PIPE
- THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.

ZONING DISTRICT - MEDIUM DENSITY RESIDENTIAL - RB1		
DIMENSIONAL REQUIREMENT	REQUIRED	PROPOSED
LOT AREA PUBLIC SEWER	7,500 SQUARE FEET	272,250 SQUARE FEET
LOT AREA PRIVATE SEWER	20,000 SQUARE FEET	N/A
LOT AREA PER DWELLING UNIT	2,500 SQUARE FEET	5,792 SQUARE FEET (FOR 47 UNITS)
LOT FRONTAGE	75 FEET	293 FEET±
LOT DEPTH	100 FEET	370 FEET±
FRONT SETBACK	SEE SECTION 5.1.16	25 FEET
SIDE AND REAR SETBACK:		
PRINCIPAL STRUCTURE	10 FEET	60 FEET±
ACCESSORY STRUCTURE	5 FEET	N/A
MIN. FRONTAGE FOR CONVERSION TO TWO (2) OR MORE DWELLING UNITS	50 FEET	> 293 FEET

UTILITY NOTES

- ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO AUGUSTA WATER DISTRICT STANDARDS. ALL WATER FIRE LINE AND DOMESTIC PIPING 4" OR GREATER DIAMETER DISTRIBUTION PIPING SHALL BE CLASS 52 DUCTILE IRON PIPE, DOUBLE CEMENT LINED AND BITUMINOUS COATED CONFORMING TO AWWA/C104/A21.4. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
- THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL BE PLACED ON THE WATER DISTRIBUTION LINES AT ALL BENDS, TEES, FIRE HYDRANTS, VALVES, CHANGES IN DIRECTION, ETC.. THE THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL MEET THE REQUIREMENTS OF THE AUGUSTA WATER DISTRICT STANDARDS.
- THE LOCATION OF THE PROPOSED OVERHEAD AND UNDERGROUND ELECTRICAL SERVICE AND COMMUNICATIONS SERVICES IS APPROXIMATE AND THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION WITH THE ELECTRICAL PLANS PREPARED BY THE ELECTRICAL CONSULTANT, CENTRAL MAINE POWER AND OTHER SERVICING UTILITY COMPANIES. ALL UNDERGROUND ELECTRICAL SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH CENTRAL MAINE POWER'S HANDBOOK OF REQUIREMENTS.
- THE CITY OF AUGUSTA SHALL BE NOTIFIED FOR SEWER INSPECTIONS. ALL SEWER UTILITY MATERIALS AND INSTALLATION METHODS SHALL BE ACCEPTABLE TO THE CITY OF AUGUSTA SANITARY DISTRICT. WHERE CONFLICTS MAY EXIST BETWEEN THE PLANS, SPECIFICATIONS AND UTILITY PROVIDER REQUIREMENTS THE MORE STRINGENT STANDARD SHALL APPLY AT NO EXTRA EXPENSE TO THE OWNER.
- THE DOMESTIC WATER METER SHALL BE INSTALLED WITHIN THE BUILDING WITH A REMOTE READER INSTALLED ON THE BUILDING AT THE ENTRANCE POINTS. THE DOMESTIC WATER SERVICE LINE SHALL HAVE GATE VALVES INSTALLED OUTSIDE THE BUILDINGS.
- A BACKFLOW PREVENTER DEVICE (DETECTOR DOUBLE CHECK VALVE) ACCEPTABLE TO AUGUSTA WATER DISTRICT SHALL BE INSTALLED ON THE SPRINKLER RISER INSIDE THE BUILDINGS.
- COLOR FOR LIGHT POLES AND FIXTURES SHALL BE BLACK.
- SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS FOR SDR-35 FOR GRAVITY PIPE.
- PRIOR TO BEGINNING UTILITY WORK WITHIN R/W OF MALTA STREET OR ON SITE IF NECESSARY, THE CONTRACTOR SHALL EXCAVATE TEST PITS TO DETERMINE LOCATION AND ELEVATION OF EXISTING UTILITIES.

EROSION CONTROL NOTES

- LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE MOST PRACTICAL LEAST DISTURBANCE OF THE SITE.
- PRIOR TO BEGINNING ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER SILT FENCE(S) OR EROSION CONTROL MIX BERM(S) AND THE CONSTRUCTION ENTRANCE(S) AS NECESSARY.
- SILT FENCES AND/OR SEDIMENT BARRIERS SHALL BE INSPECTED, REPAIRED AND CLEANED AS NECESSARY.
- THE CONTRACTOR SHALL REPAIR AND ADD STONE TO THE CONSTRUCTION ENTRANCE AS IT BECOMES SATURATED WITH SEDIMENT TO ENSURE THAT IT WORKS AS PLANNED DURING CONSTRUCTION.
- THE CONTRACTOR IS CAUTIONED THAT FAILURE TO COMPLY WITH THE SEQUENCE OF CONSTRUCTION, TO IMPLEMENT ADEQUATE EROSION/SEDIMENT CONTROL MEASURES, AND OTHER PERMIT REQUIREMENTS MAY RESULT IN MONETARY PENALTIES. THE CONTRACTOR SHALL BE ASSESSED ALL SUCH PENALTIES AT NO COST TO THE OWNER OR PERMITTEE.
- ALL NON-PAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE LANDSCAPED PER THE LANDSCAPE PLAN, UNLESS OTHERWISE DIRECTED BY THE OWNER.

LANDSCAPE NOTES

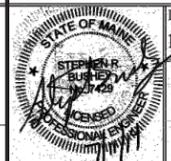
- ALL PLANT MATERIALS SHALL MEET THE STANDARDS AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL TREES ARE TO BE GUYED AND STAKED PER THE DETAIL. ALL TREES, SHRUB BEDS, ETC. ARE TO BE MULCHED WITH 4" OF SHREDDED HARDWOOD BARK MULCH.
- ALL DISTURBED AREAS EXCEPT ROCK TO REMAIN EXPOSED ARE TO RECEIVE A MINIMUM OF 6" OF TOPSOIL PRIOR TO PERMANENT SEEDING.
- SUBSTITUTIONS TO THE PLANTING PLAN MUST BE APPROVED BY THE LANDSCAPE ARCHITECT AND THE CITY OF AUGUSTA.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	BUILDING	
	PROPERTY LINE	
	SETBACK	
	RETAINING WALL	
	CURBING (SEE DRAWING FOR TYPES)	
	EDGE OF PAVEMENT	
	EDGE OF GRAVEL DRIVE	
	GRADING CONTOUR LINE	
	SPOT ELEVATION	
	GUARD POST/BOLLARD	
	POLE WITH LIGHT FIXTURE(S)	
	UTILITY POLE	
	FREESTANDING SIGN	
	BARRIER FREE PARKING SYMBOL	
	PEDESTRIAN CROSSWALK	
	PAINTED DIRECTIONAL TRAFFIC ARROW	
	OVERHEAD ELECTRIC/TELEPHONE	
	UNDERGROUND ELECTRIC/TELEPHONE	
	WATER LINE	
	SEWER LINE	
	GAS LINE	
	STORM DRAIN LINE	
	CULVERT	
	HYDRANT	
	WATER GATE VALVE	
	WATER SHUT OFF VALVE	
	SEWER MANHOLE	
	DRAIN MANHOLE	
	CATCH BASIN	
	NYLOPLAST DRAIN BASIN	
	STONE WALL	
	TREELINE TREES/LANDSCAPING	
	RIPRAP	
	SILT FENCE	
	CHAIN LINK FENCE	
	WOOD FENCE	
	CB SEDIMENT BARRIER	
	TRANSFORMER PAD	
	GENERATOR PAD	
	CENTER LINE	
	TEST PIT	
	IRON ROD (FOUND)	
	IRON PIPE (FOUND)	
	DRILL HOLE IN LEDGE	
	GRANITE MONUMENT (FOUND)	
	FOUNDATION DRAIN	
	PIPE RAIL FENCE	

Prepared For: AUGUSTA HOUSING SERVICE CORPORATION 353 WATER STREET AUGUSTA, MAINE 04330	Project: HODGKINS SCHOOL APARTMENTS AUGUSTA, ME 17 MALTA STREET AUGUSTA, MAINE	Revisions: _____ _____ _____ _____ _____ 07.11.14 Site Plan Submission
Architect: ARCHETYPE Architects 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Date: 11 JULY 2014	Scale: C-1.1

FST **FAY, SPOFFORD & THORNDIKE**
ENGINEERS • PLANNERS • SCIENTISTS
778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106



GENERAL NOTES AND LEGEND

SURFACE LEGEND

-  NEW BOX CUT CONSTRUCTION
-  1" PAVEMENT OVERLAY
-  8" - 12" PAVEMENT RECLAIM, REGRADE AND PLACE 3 1/2" NEW ASPHALT
-  REINFORCED CONCRETE SLAB OR SIDEWALK
-  2" BITUMINOUS ASPHALT SIDEWALK

SURFACE LEGEND



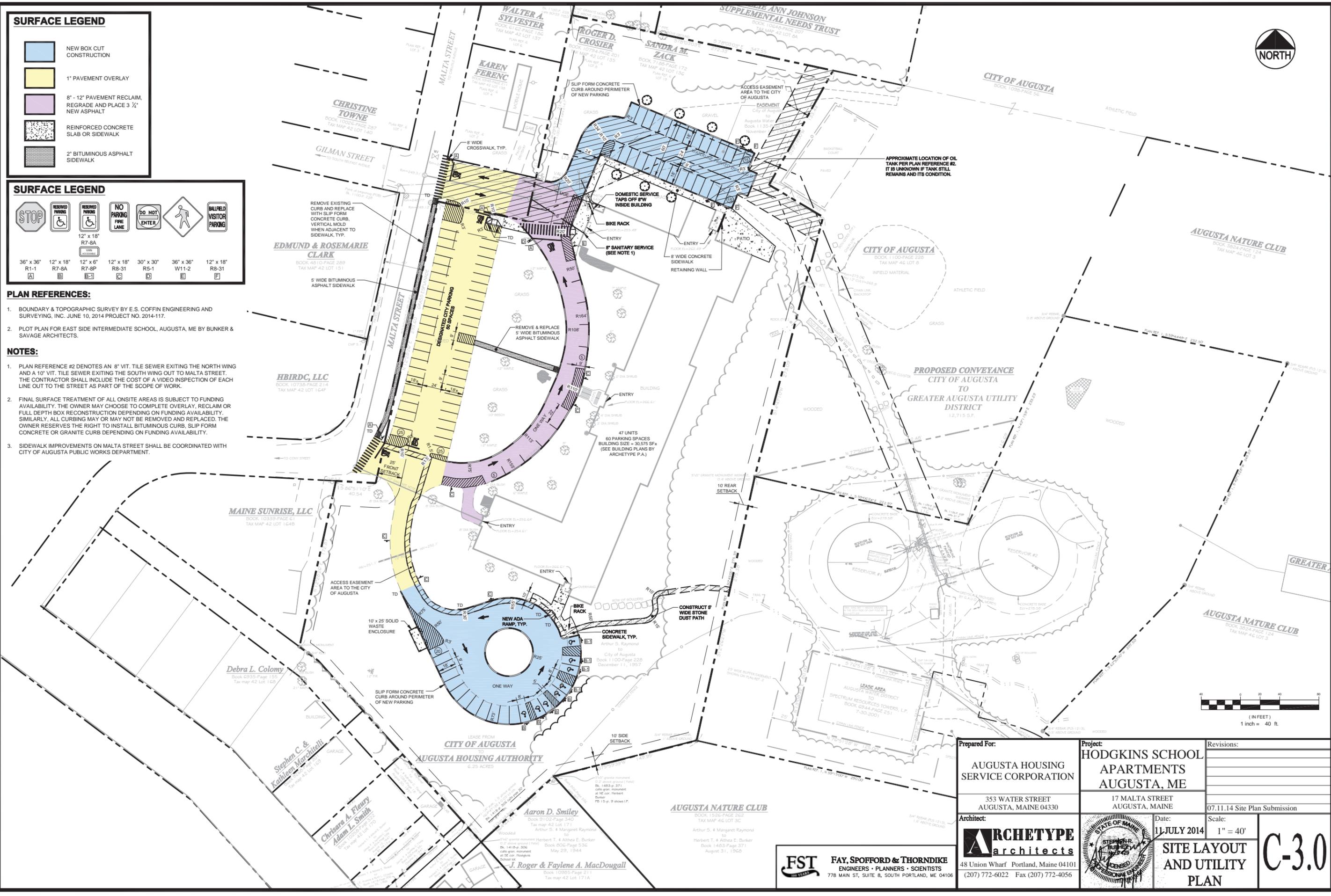
36" x 36" R1-1
12" x 18" R7-8A
12" x 6" R7-8P
12" x 18" R8-31
30" x 30" R5-1
36" x 36" W11-2
12" x 18" R8-31

PLAN REFERENCES:

- BOUNDARY & TOPOGRAPHIC SURVEY BY E.S. COFFIN ENGINEERING AND SURVEYING, INC. JUNE 10, 2014 PROJECT NO. 2014-117.
- PLOT PLAN FOR EAST SIDE INTERMEDIATE SCHOOL, AUGUSTA, ME BY BUNKER & SAVAGE ARCHITECTS.

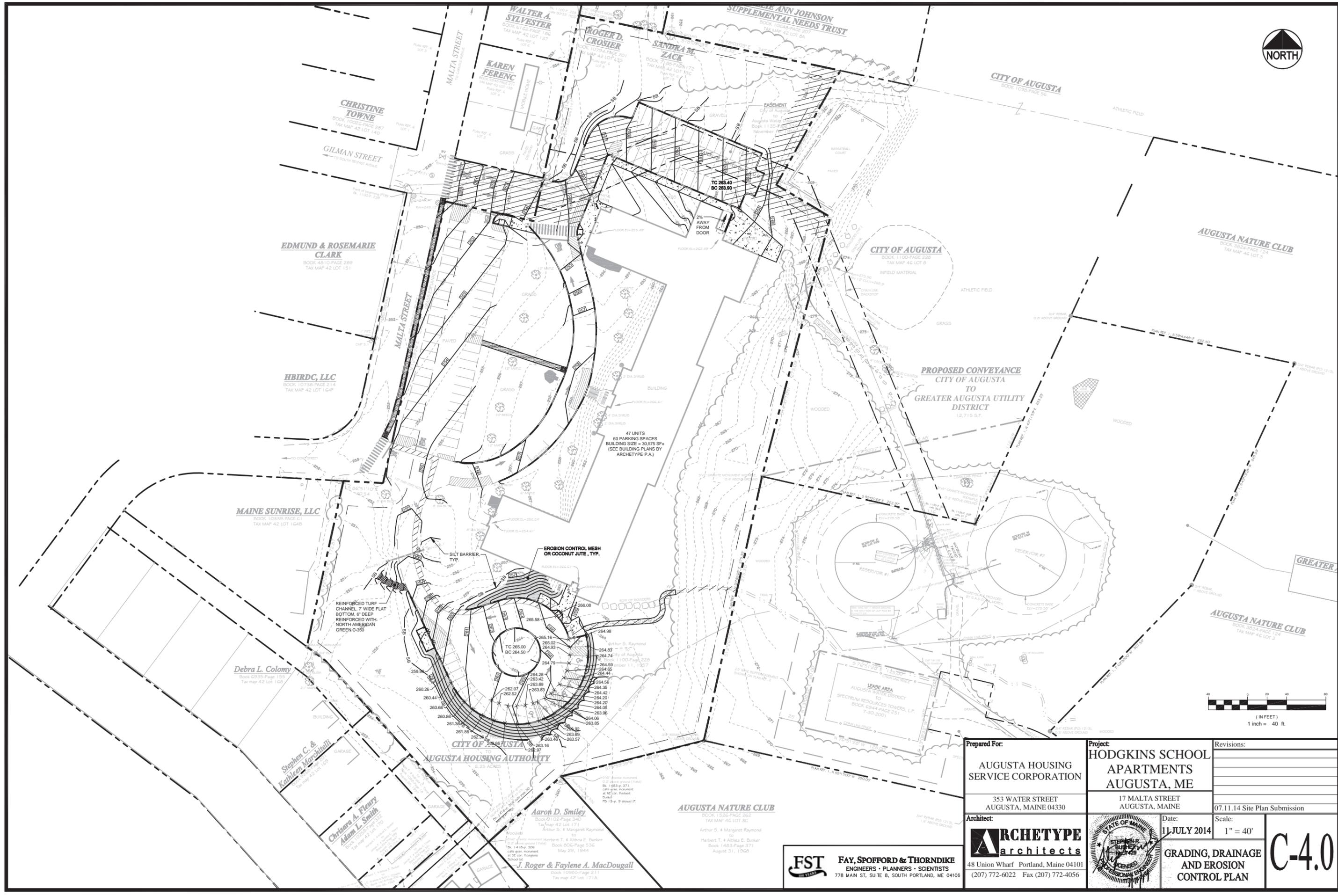
NOTES:

- PLAN REFERENCE #2 DENOTES AN 8" VIT. TILE SEWER EXITING THE NORTH WING AND A 10" VIT. TILE SEWER EXITING THE SOUTH WING OUT TO MALTA STREET. THE CONTRACTOR SHALL INCLUDE THE COST OF A VIDEO INSPECTION OF EACH LINE OUT TO THE STREET AS PART OF THE SCOPE OF WORK.
- FINAL SURFACE TREATMENT OF ALL ONSITE AREAS IS SUBJECT TO FUNDING AVAILABILITY. THE OWNER MAY CHOOSE TO COMPLETE OVERLAY, RECLAIM OR FULL DEPTH BOX RECONSTRUCTION DEPENDING ON FUNDING AVAILABILITY. SIMILARLY, ALL CURBING MAY OR MAY NOT BE REMOVED AND REPLACED. THE OWNER RESERVES THE RIGHT TO INSTALL BITUMINOUS CURB, SLIP FORM CONCRETE OR GRANITE CURB DEPENDING ON FUNDING AVAILABILITY.
- SIDEWALK IMPROVEMENTS ON MALTA STREET SHALL BE COORDINATED WITH CITY OF AUGUSTA PUBLIC WORKS DEPARTMENT.



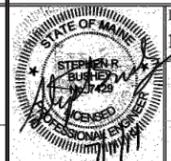
Prepared For: AUGUSTA HOUSING SERVICE CORPORATION 353 WATER STREET AUGUSTA, MAINE 04330	Project: HODGKINS SCHOOL APARTMENTS AUGUSTA, ME 17 MALTA STREET AUGUSTA, MAINE	Revisions:
		07.11.14 Site Plan Submission
Architect: ARCHETYPE Architects 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Date: 11 JULY 2014	Scale: 1" = 40'
STATE OF MAINE REGISTERED PROFESSIONAL ENGINEER STEPHEN R. BUSHBY LICENSE NO. 10000		C-3.0 SITE LAYOUT AND UTILITY PLAN

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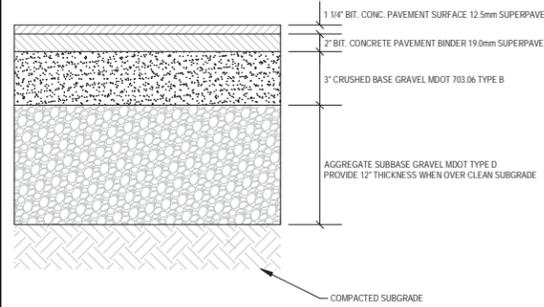


Prepared For:	AUGUSTA HOUSING SERVICE CORPORATION	Project:	HODGKINS SCHOOL APARTMENTS AUGUSTA, ME	Revisions:	
	353 WATER STREET AUGUSTA, MAINE 04330		17 MALTA STREET AUGUSTA, MAINE		
Architect:	ARCHETYPE Architects	Date:	11 JULY 2014	Scale:	1" = 40'
	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056				
					C-4.0

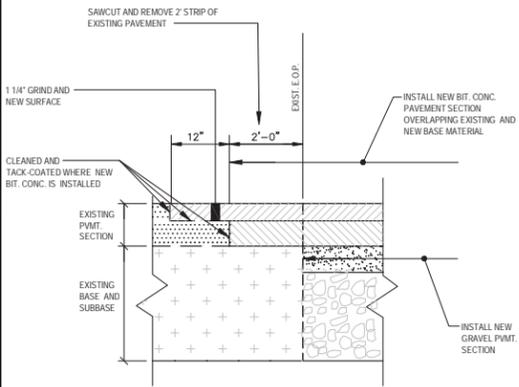
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GRADING, DRAINAGE AND EROSION CONTROL PLAN



STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT SECTION
N.T.S.

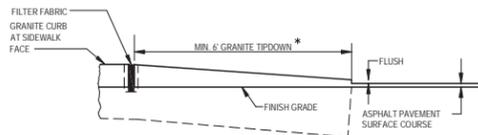


TYPICAL PAVEMENT SECTION NEW PAVEMENT ADJACENT TO EXISTING PAVEMENT
N.T.S.

NOTES:

1. APPLY TACK COAT BETWEEN BINDER AND SURFACE COURSES.
2. ALL MATERIALS SHALL CONFORM TO MDOT SPECIFICATIONS, LATEST REVISION.
3. COMPACTION OF ALL MATERIALS TO BE IN ACCORDANCE WITH THE MDOT SPECIFICATIONS.

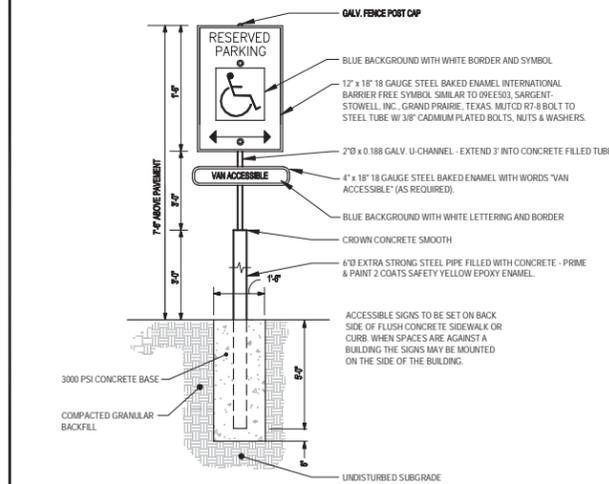
(A) PAVEMENT SECTIONS
N.T.S.



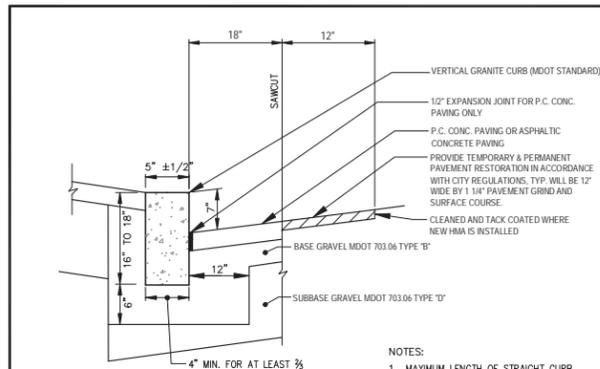
* 6'-0" IS MINIMUM - LENGTH MAY NEED TO BE EXTENDED TO MEET ADA REQUIREMENTS

NOTE
USE OF GRANITE CURB IS SUBJECT TO FUNDING AVAILABILITY.

(B) GRANITE CURB INSTALLATION - TYPICAL TIPDOWN
N.T.S.

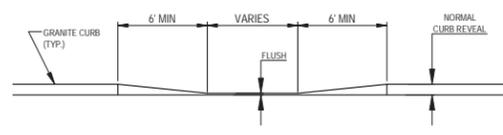


(C) BARRIER FREE PARKING SIGN DETAIL
N.T.S.



(D) VERTICAL GRANITE CURB DETAIL
N.T.S.

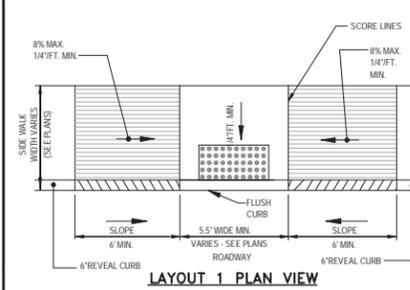
- NOTES:**
1. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8'
 2. MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
 3. CIRCULAR CURB REQUIRED FOR RADIUS LESS THAN 50'
 4. GROUT OR CAULK ALL CURB JOINTS OVER 1/4" IN WIDTH. INSTALL STRIP OF FILTER FABRIC BEHIND EACH CURB JOINT.
 5. USE OF GRANITE CURB IS SUBJECT TO FUNDING AVAILABILITY.



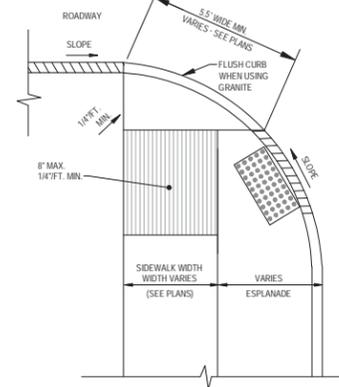
GRANITE CURB TIP-DOWN FOR ADA RAMP

NOTE
USE OF GRANITE CURB IS SUBJECT TO FUNDING AVAILABILITY.

(E) GRANITE CURB TIP DOWN FOR ADA RAMP DETAIL
N.T.S.

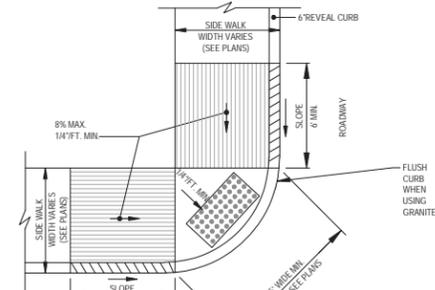


LAYOUT 1 PLAN VIEW

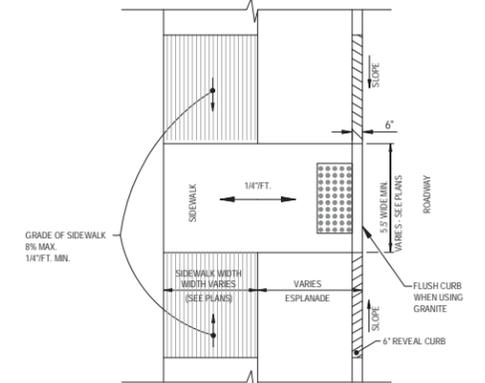


LAYOUT 5 PLAN VIEW

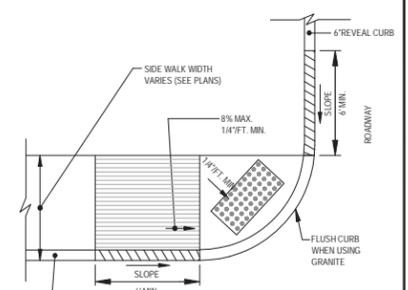
(F) BARRIER FREE RAMP DETAILS
N.T.S.



LAYOUT 3 PLAN VIEW



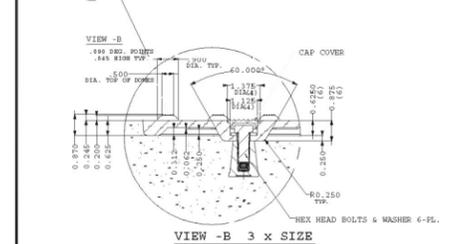
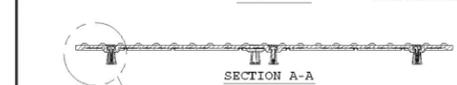
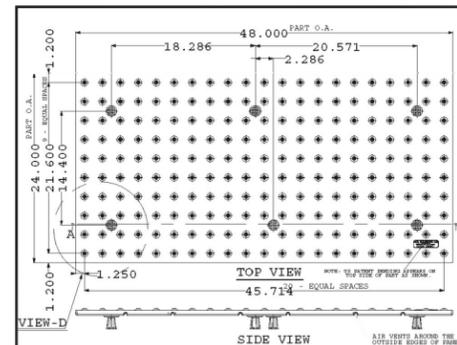
LAYOUT 4 PLAN VIEW



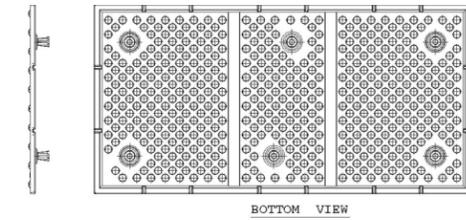
LAYOUT 2 PLAN VIEW

NOTE:
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA).
2. ALL RAMPS SHALL HAVE DETECTABLE WARNINGS PER SECTION 4.29 OF THE ADA. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES A DIAMETER OF 0.90 INCHES, A HEIGHT OF NOMINAL 0.20 INCHES AND A SPACING OF 2.35 INCHES CENTER TO CENTER. THESE SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.

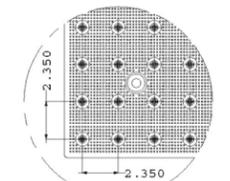
A TACTILE WARNING STRIP IS REQUIRED WHERE RAMP ABUTS AREA USED BY VEHICULAR TRAVEL LANE



(G) DETECTABLE WARNING SURFACE DETAIL
N.T.S.



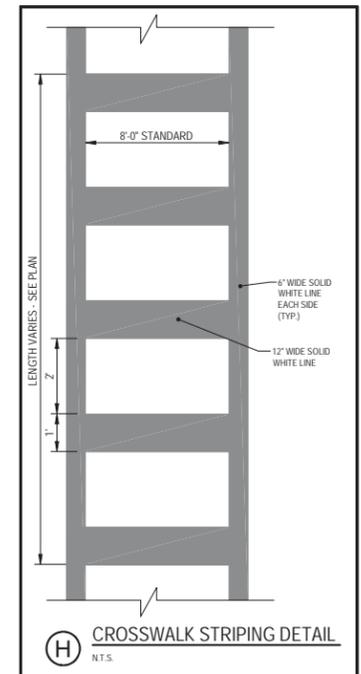
BOTTOM VIEW



VIEW - "D" 2" x 2" SIZE FIELD DOT 7 DOME LAYOUT

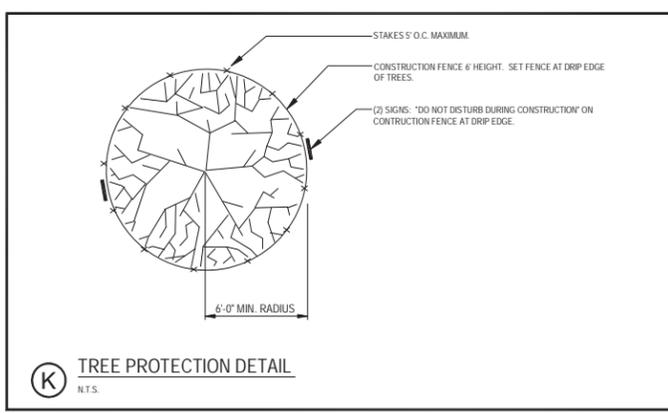
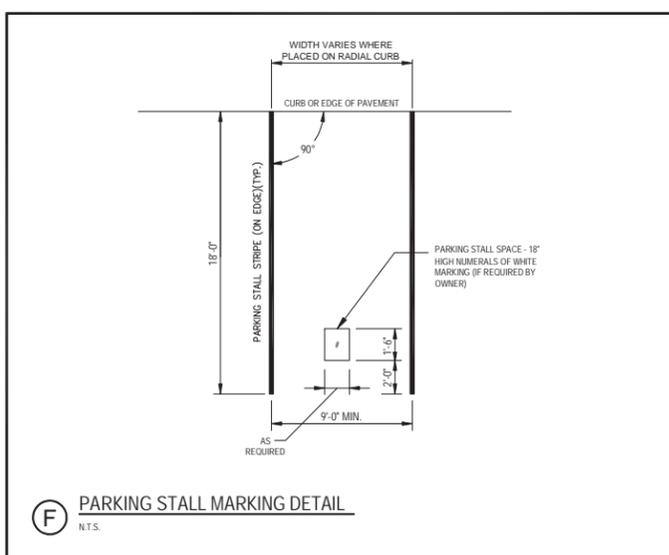
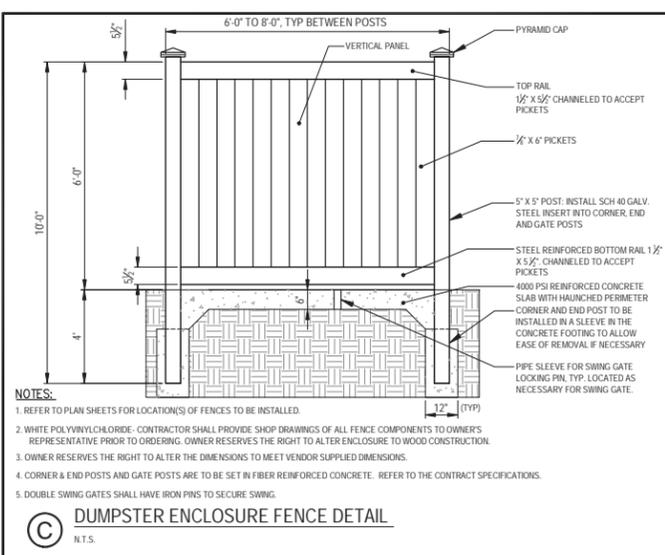
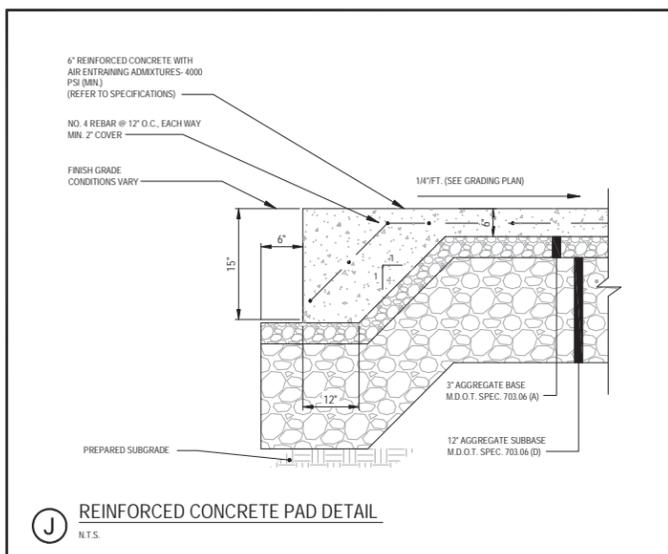
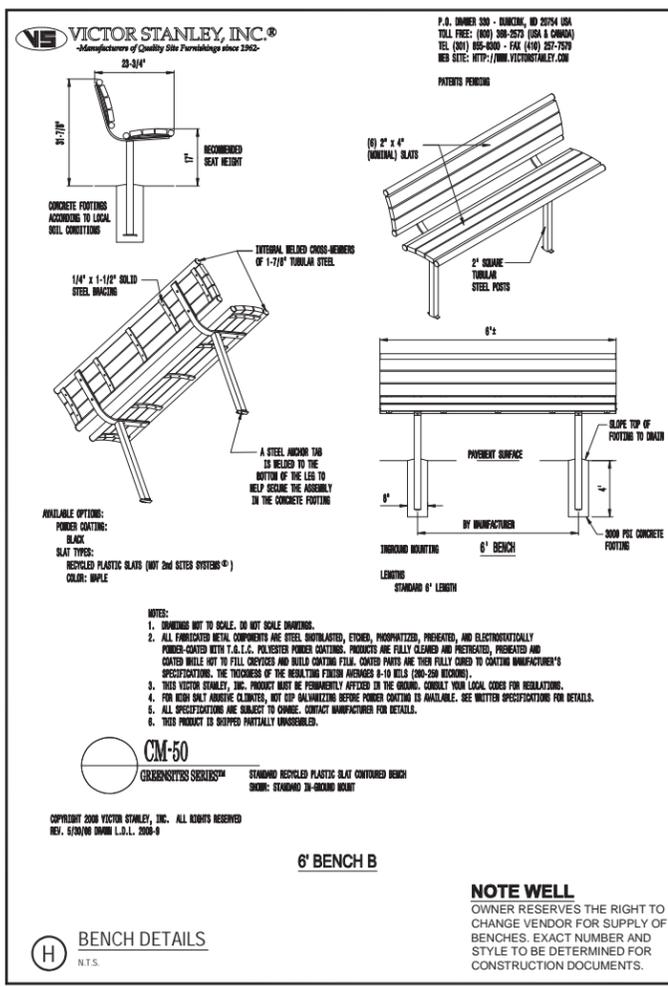
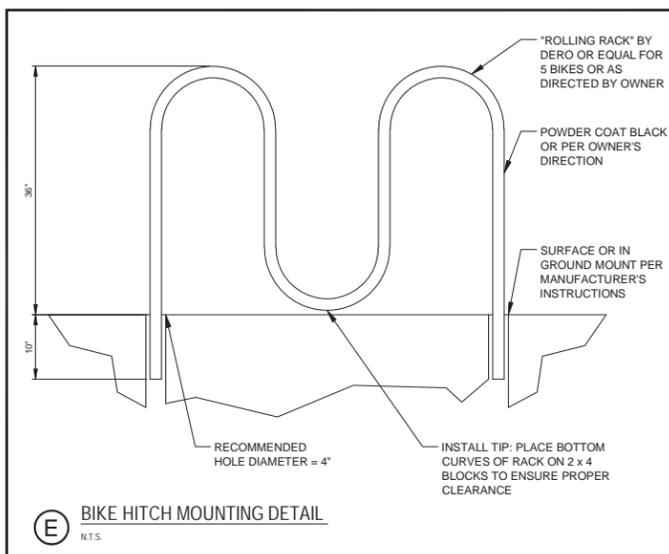
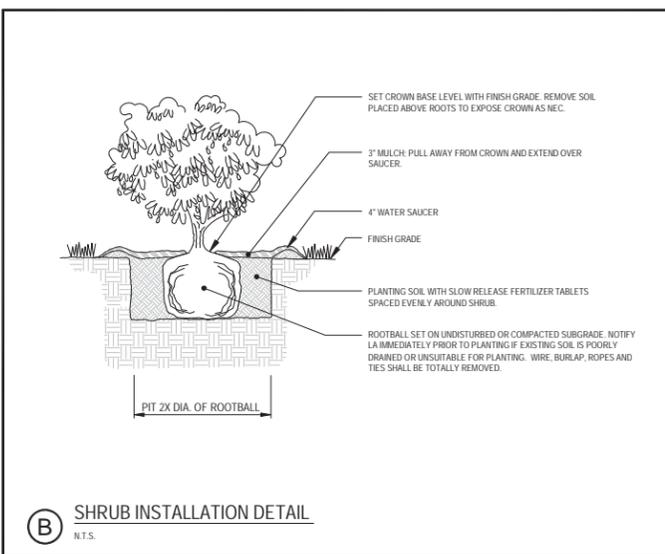
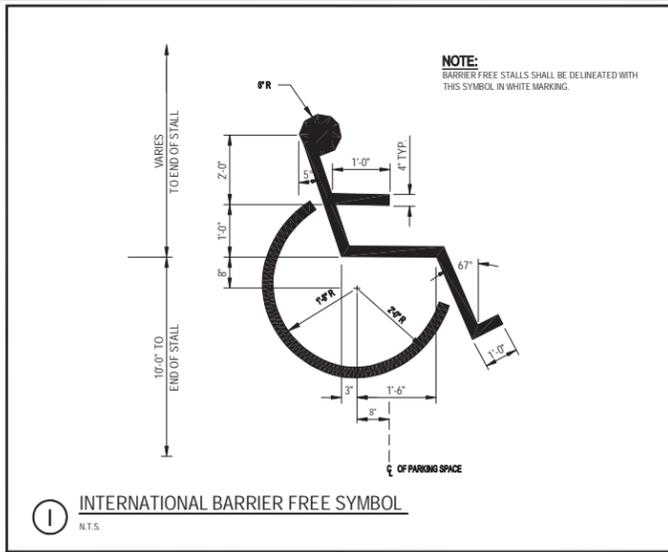
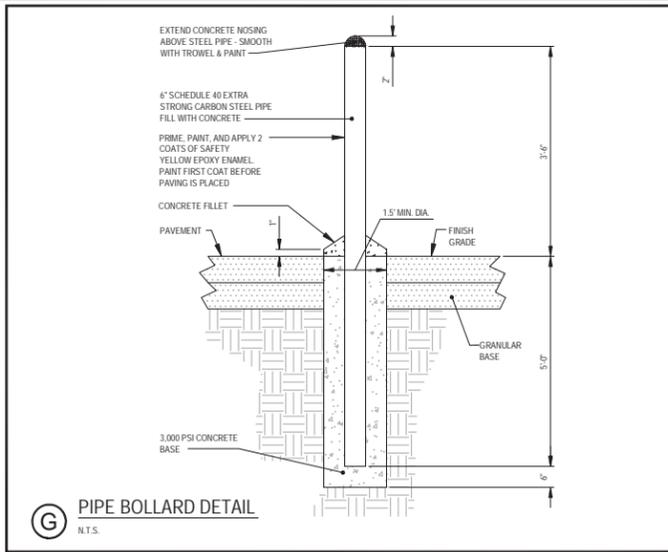
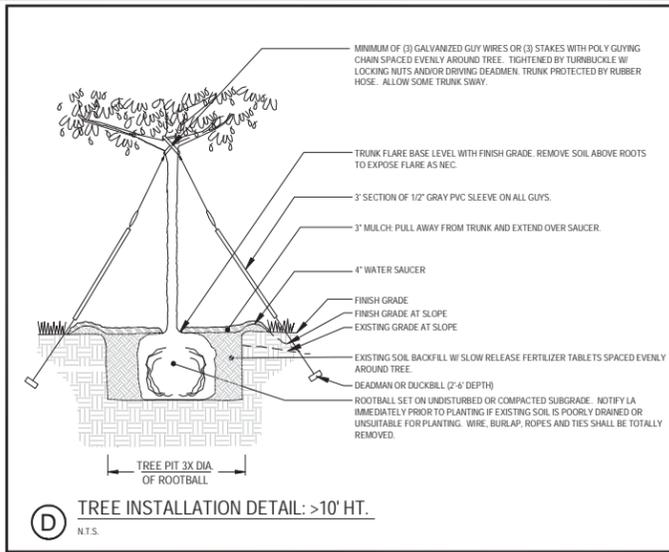
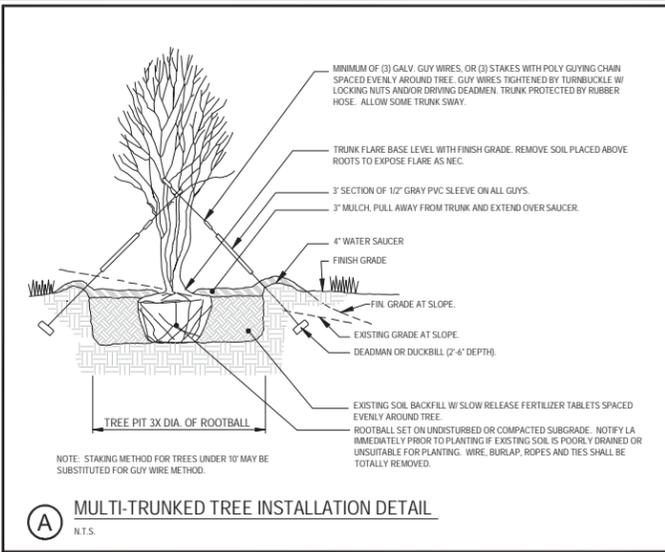
NOTE
REMOVABLE WET SET TRUNCATED DOME DETECTABLE WARNING SYSTEM BY ADA SOLUTIONS
P.O. BOX 3
N. BILLERICA, MA 01862
TEL 800.872.0519

PROVIDE CONCRETE SETTING BED WITH DIMENSIONS OF 36"x60" FOR PLACEMENT OF WARNING SURFACE SYSTEM AS INCIDENTAL TO COST OF SYSTEM. PROVIDE FIBER REINFORCED CONCRETE 3000 PSI

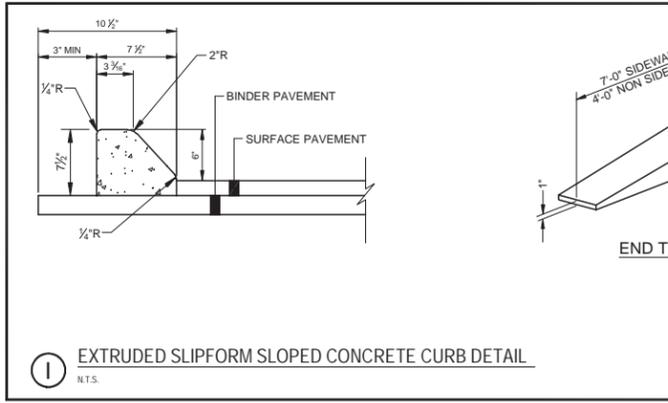
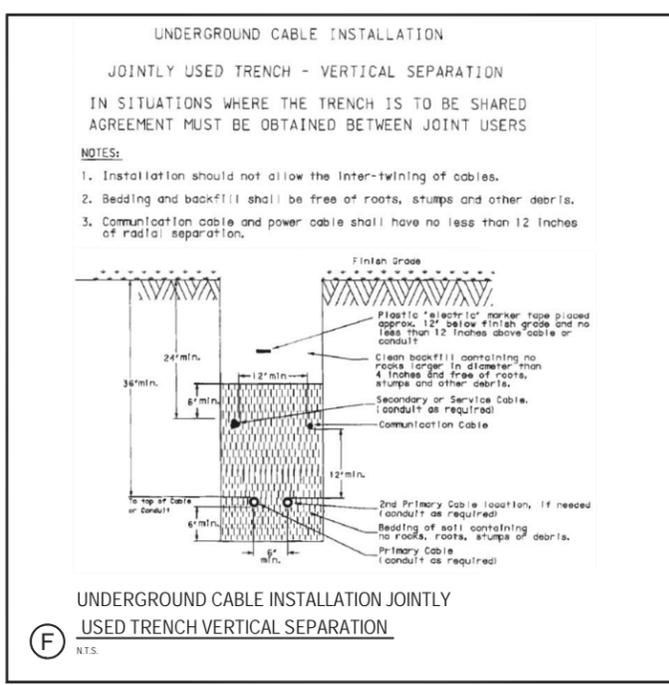
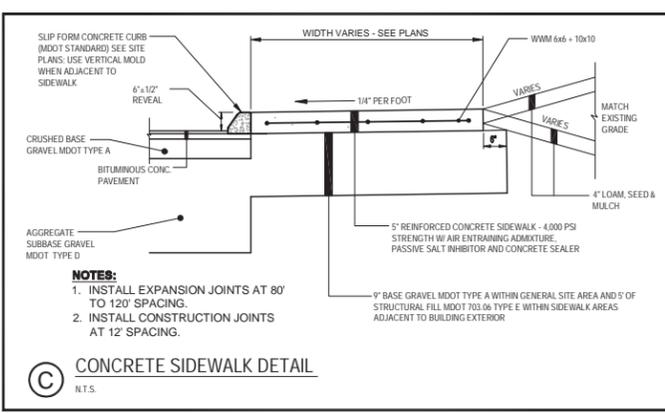
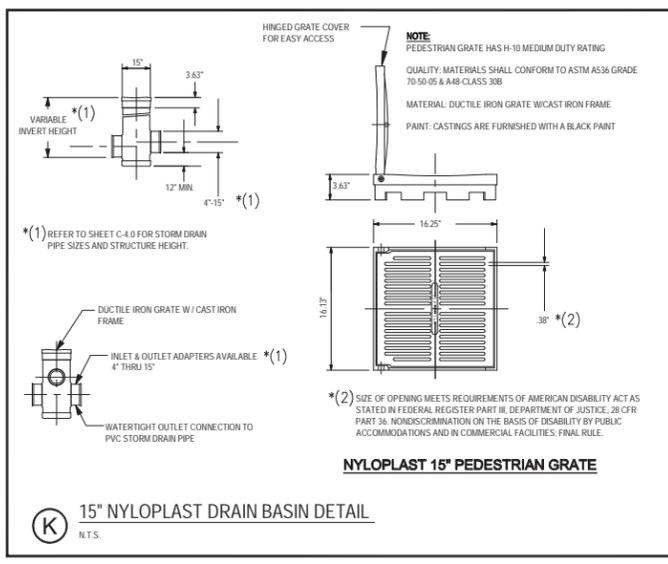
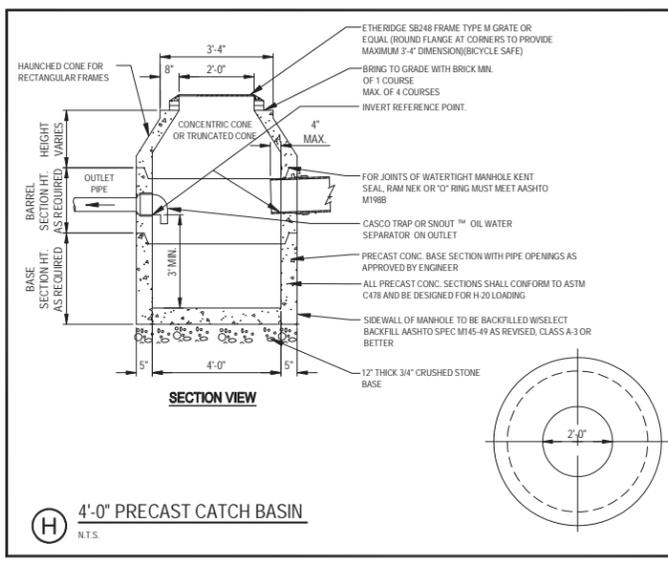
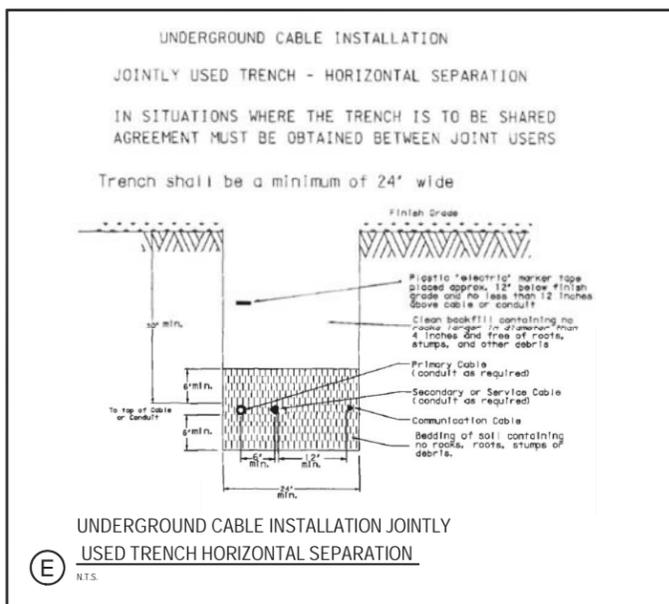
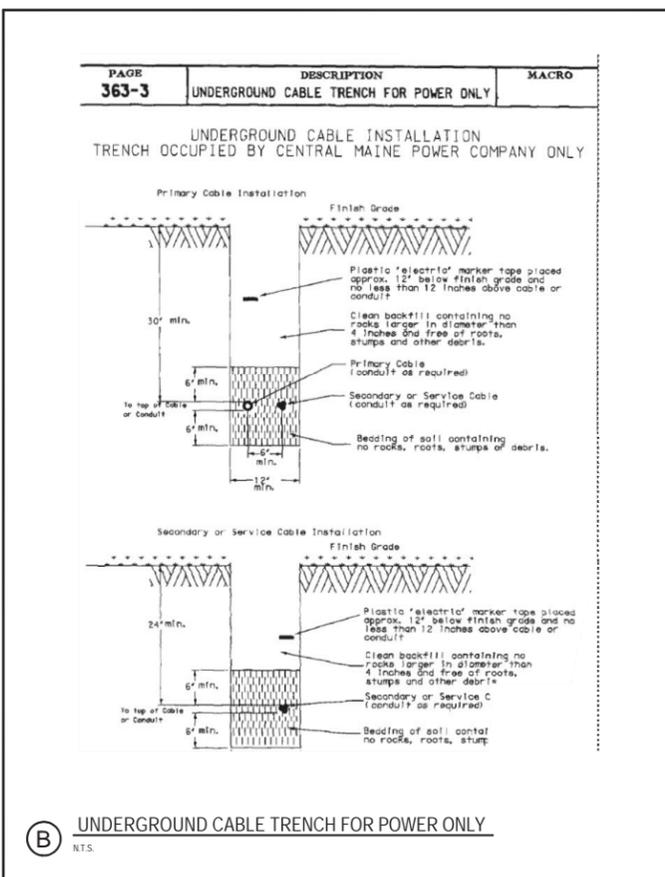
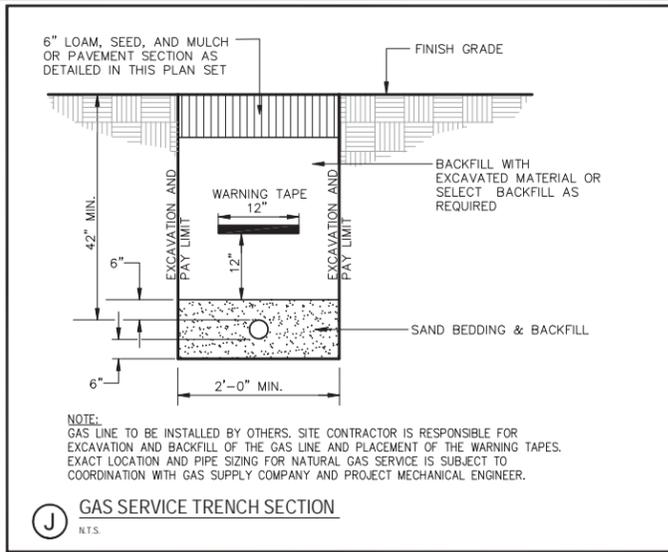
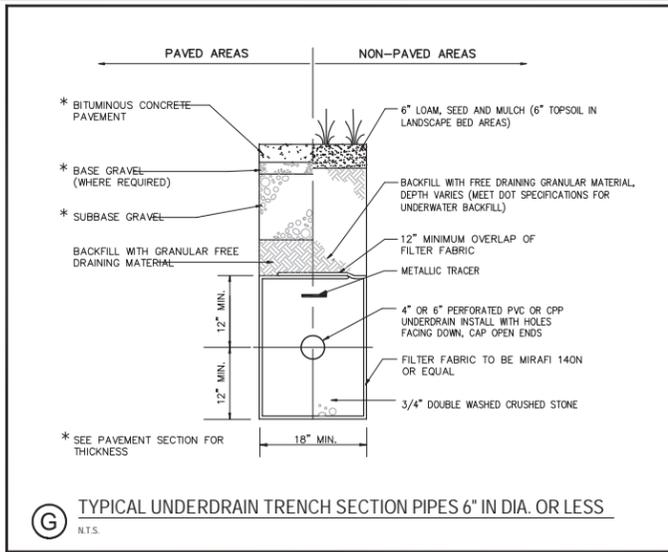
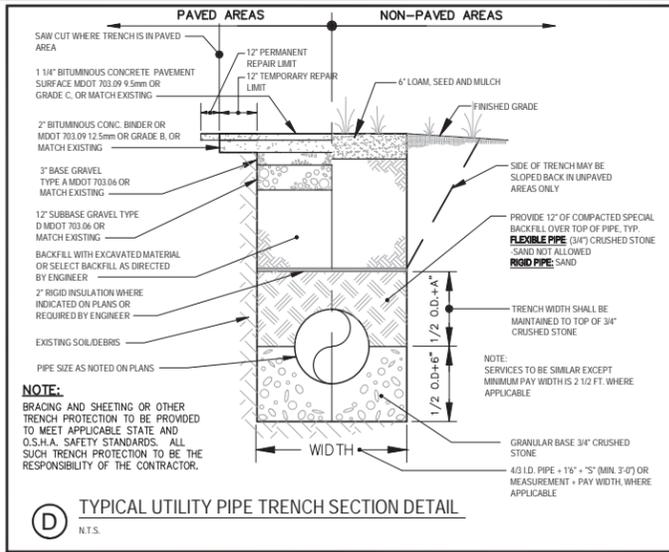
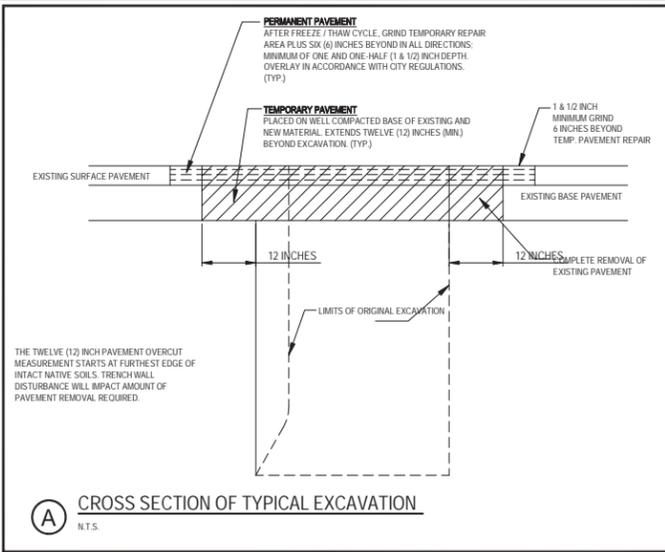


(H) CROSSWALK STRIPING DETAIL
N.T.S.

Prepared For: AUGUSTA HOUSING SERVICE CORPORATION	Project: HODGKINS SCHOOL APARTMENTS AUGUSTA, ME	Revisions:
353 WATER STREET AUGUSTA, MAINE 04330	17 MALTA STREET AUGUSTA, MAINE	07.11.14 Site Plan Submission
Architect: ARCHETYPE Architects	Date: 11 JULY 2014	Scale:
48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056		DETAILS
	FAY, SPOFFORD & THORNDIKE ENGINEERS • PLANNERS • SCIENTISTS 778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106	C-6.0

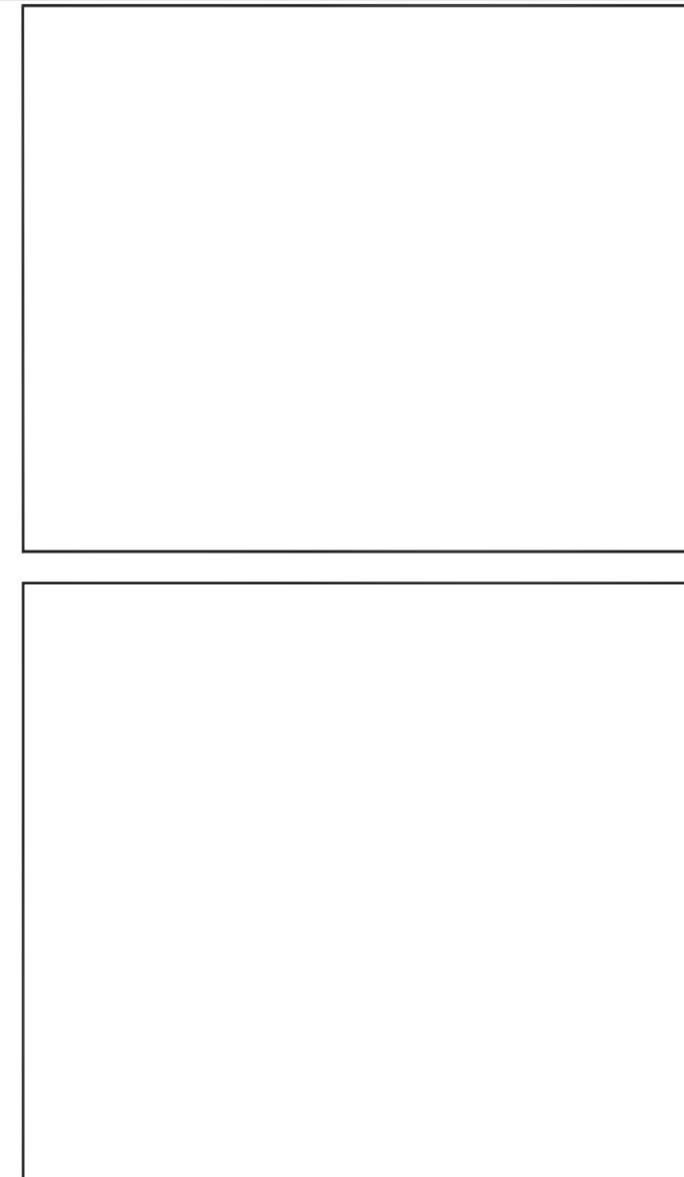
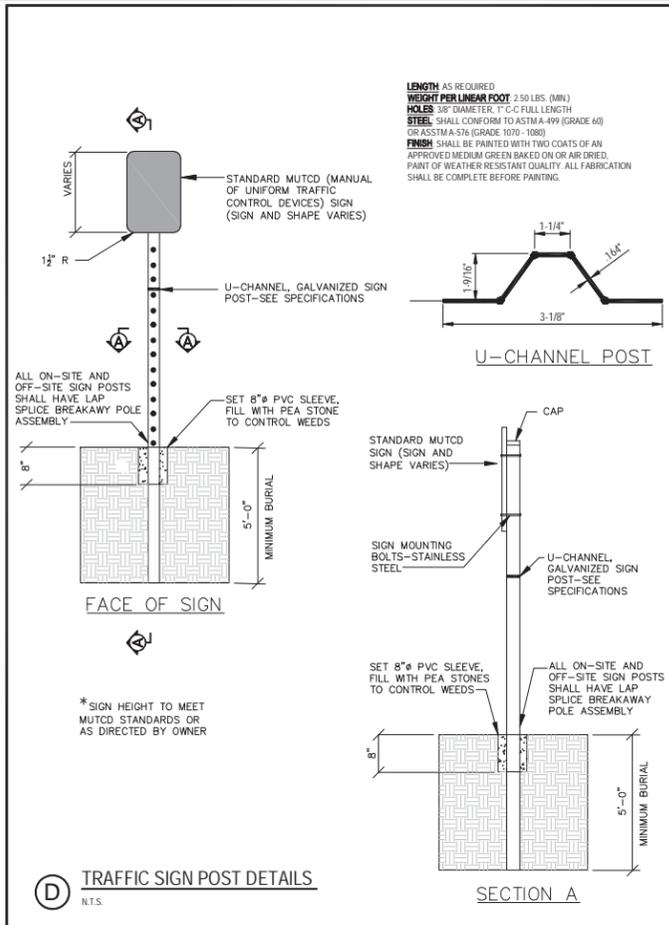
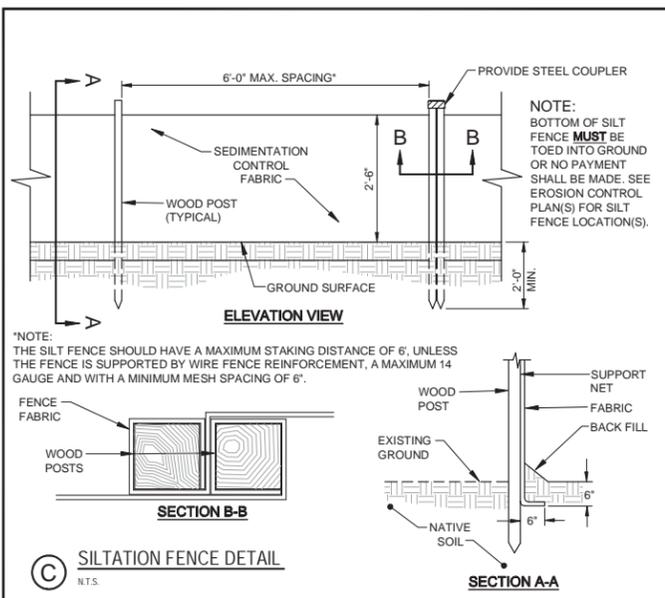
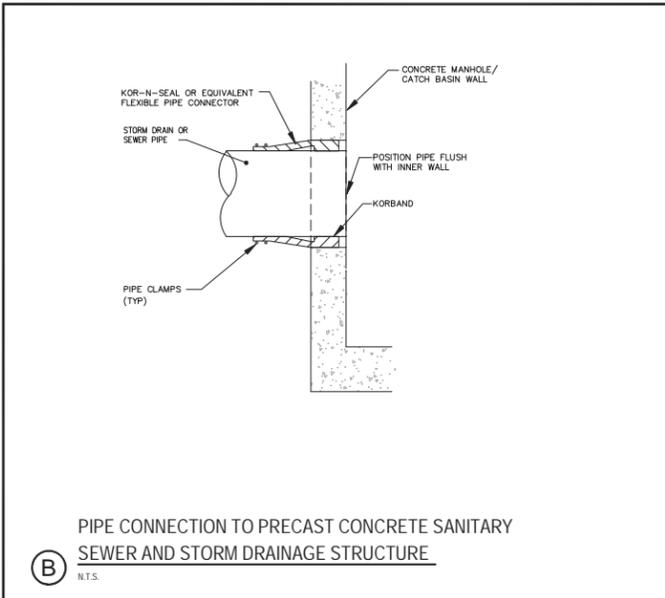
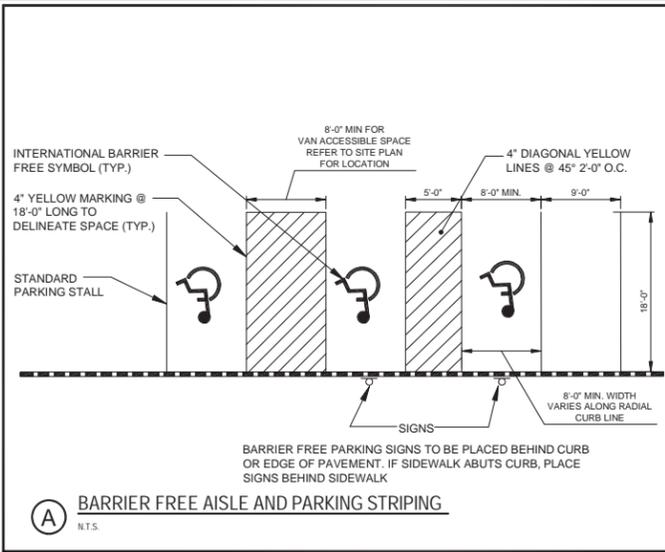


Prepared For:	Project:	Revisions:
AUGUSTA HOUSING SERVICE CORPORATION	HODGKINS SCHOOL APARTMENTS AUGUSTA, ME	
353 WATER STREET AUGUSTA, MAINE 04330	17 MALTA STREET AUGUSTA, MAINE	07.11.14 Site Plan Submission
Architect:	Date:	Scale:
ARCHETYPE Architects	11 JULY 2014	
48 Union Wharf Portland, Maine 04101		
778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106		
FAY, SPOFFORD & THORNDIKE ENGINEERS • PLANNERS • SCIENTISTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056		DETAILS C-7.0



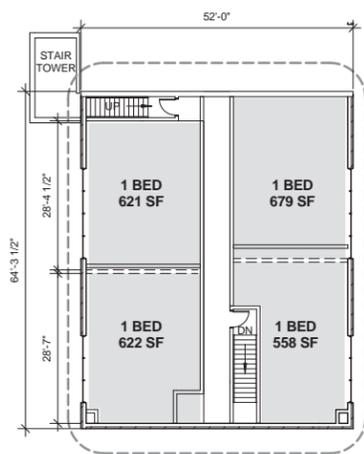
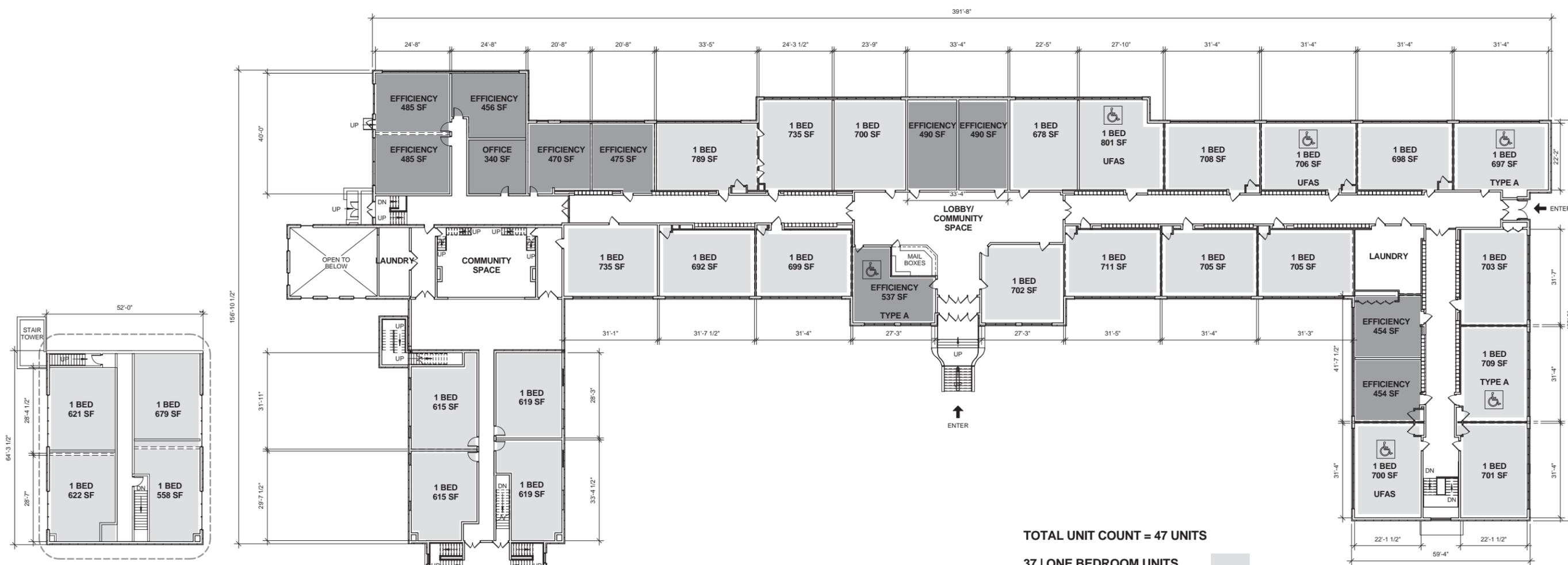
- NOTES:**
- 4,000 PSI CONCRETE WITH FIBER REINFORCEMENT.
 - 4% TO 6% AIR ENTRAINMENT.
 - 1" TO 2" SLUMP.
 - APPLY EPOXY TO BINDER PAVEMENT PRIOR TO CURB PLACEMENT.
 - OWNER RESERVES THE RIGHT TO USE GRANITE, SLIP FORM CONCRETE OR BITUMINOUS ASPHALT CURBING DEPENDING ON FUNDING AVAILABILITY, TYP.

Prepared For: AUGUSTA HOUSING SERVICE CORPORATION 353 WATER STREET AUGUSTA, MAINE 04330	Project: HODGKINS SCHOOL APARTMENTS AUGUSTA, ME 17 MALTA STREET AUGUSTA, MAINE	Revisions: <table border="1"><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr></table>				
Architect: ARCHETYPE Architects 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Date: 11 JULY 2014	Scale: 07.11.14 Site Plan Submission				
		DETAILS				
		C-8.0				



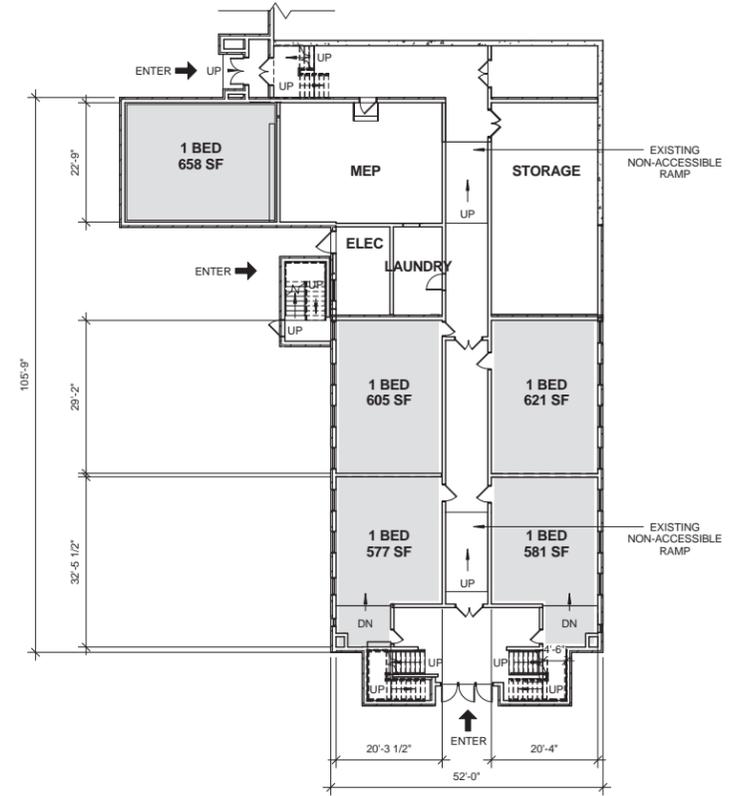
Prepared For: AUGUSTA HOUSING SERVICE CORPORATION	Project: HODGKINS SCHOOL APARTMENTS AUGUSTA, ME	Revisions:
353 WATER STREET AUGUSTA, MAINE 04330	17 MALTA STREET AUGUSTA, MAINE	07.11.14 Site Plan Submission
Architect: ARCHETYPE Architects	Date: 11 JULY 2014	Scale:
48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Professional Engineer Seal	C-9.0

FST **FAY, SPOFFORD & THORNDIKE**
ENGINEERS • PLANNERS • SCIENTISTS
778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106

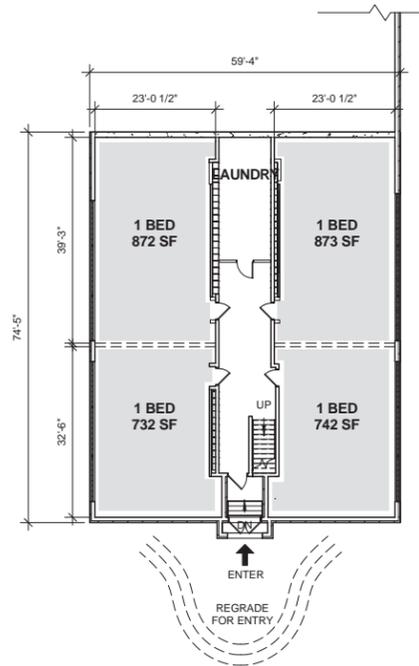


LEVEL TWO | 4 UNITS
GYM

LEVEL ONE | 4 UNITS
GYM



LOWER LEVEL | 5 UNITS



LOWER LEVEL | 4 UNITS

TOTAL UNIT COUNT = 47 UNITS
37 | ONE BEDROOM UNITS
10 | EFFICIENCY UNITS

MAINE STATE HOUSING AUTHORITY
 MAINE HOUSING QUALITY STANDARDS AND PROCEDURES MANUAL 2013 EDITION.

UNIT COUNT FOR ACCESSIBILITY CALCULATIONS
 9 LOWER LEVEL UNITS
 34 LEVEL ONE UNITS
 4 LEVEL TWO UNITS
 47 UNITS TOTAL
 (FOR MAINE HUMAN RIGHTS ACT CALCULATION, LOWER LEVEL AND LEVEL ONE UNITS ARE ALL CLASSIFIED AS GROUND FLOOR UNITS FOR A TOTAL OF 43 GROUND FLOOR UNITS)

STATE OF MAINE HUMAN RIGHTS ACT REQUIRES 10% OF UNITS ON GROUND FLOOR TO BE ACCESSIBLE PER ANSI 117.1. ROUNDING THE NUMBERS UP EQUALS 5 ACCESSIBLE UNITS. LEVEL TWO IS NOT SERVED BY AN ELEVATOR AND DOES NOT HAVE TO BE CONSIDERED IN CALCULATION.

UFAS FEDERAL FAIR HOUSING ACT SECTION 504 REQUIRES 5% OF TOTAL UNITS TO BE MOBILITY ACCESSIBLE AND 2% OF TOTAL UNITS TO BE FOR THE HEARING AND VISION IMPAIRED. ROUNDING THE NUMBERS UP THIS EQUALS 3 MOBILITY ACCESSIBLE UNITS AND 1 HEARING AND VISION IMPAIRED ACCESSIBLE UNIT.

IBC 2009 REQUIRES 2% OF TOTAL UNITS TO BE ACCESSIBLE PER ANSI 117.1. ROUNDING UP THIS EQUALS ONE UNIT.

ADAAG AMERICAN WITH DISABILITIES ACT REQUIRES 5% OF TOTAL UNITS TO BE MOBILITY ACCESSIBLE AND 2% OF TOTAL UNITS TO BE FOR THE HEARING AND VISION IMPAIRED. ROUNDING THE NUMBERS UP THIS EQUALS 3 MOBILITY ACCESSIBLE UNITS AND 1 HEARING AND VISION IMPAIRED ACCESSIBLE UNIT.

REQUIRED UNITS TOTAL OF 5 ACCESSIBLE UNITS MUST BE PROVIDED OF WHICH AT LEAST 3 UNITS MUST MEET THE REQUIREMENTS OF UFAS AND ADAAG.

PLEDGED UNITS ONE ADDITIONAL UNIT IS A PLEDGED UNIT FOR A TOTAL OF 6 ACCESSIBLE UNITS.

UNITS PROVIDED:
 6 MOBILITY ACCESSIBLE UNITS OF WHICH 3 MEET ANSI 117.1-2003 TYPE 'A' UNITS AND OF WHICH 3 MEET UFAS, ADAAG.
 1 HEARING AND VISION IMPAIRED ACCESSIBLE UNIT THAT MEETS THE REQUIREMENTS OF BOTH UFAS AND ADAAG.
 BEYOND THE 6 MOBILITY ACCESSIBLE UNITS, IN ORDER TO MEET THE REQUIREMENTS OF THE MAINE HOUSING DESIGN AND CONSTRUCTION MANUAL AND THE IBC 2009 THE REMAINING 28 UNITS ON LEVEL ONE (FLOOR ON ACCESSIBLE ROUTE) ALL MEET ANSI 117.1-2003 TYPE 'B' UNITS.

Prepared For: _____

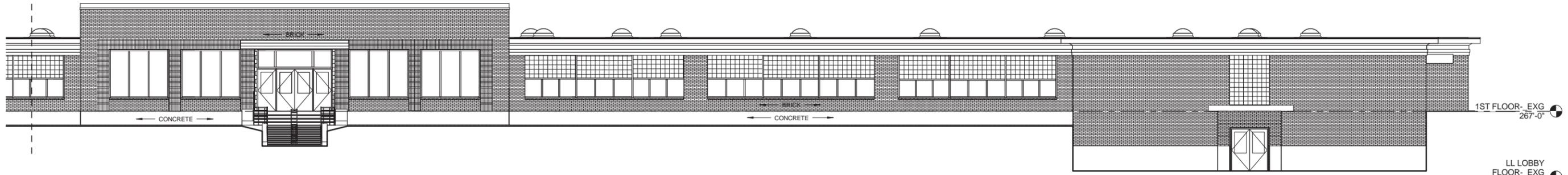
Consultant: **ARCHETYPE architects**
 48 Union Wharf Portland, Maine 04101
 (207) 72-6022 ARCHETYPE@ARCHETYPEDA.COM

Project: **HODGKINS SCHOOL APARTMENTS**
 AUGUSTA, MAINE

Revisions: _____

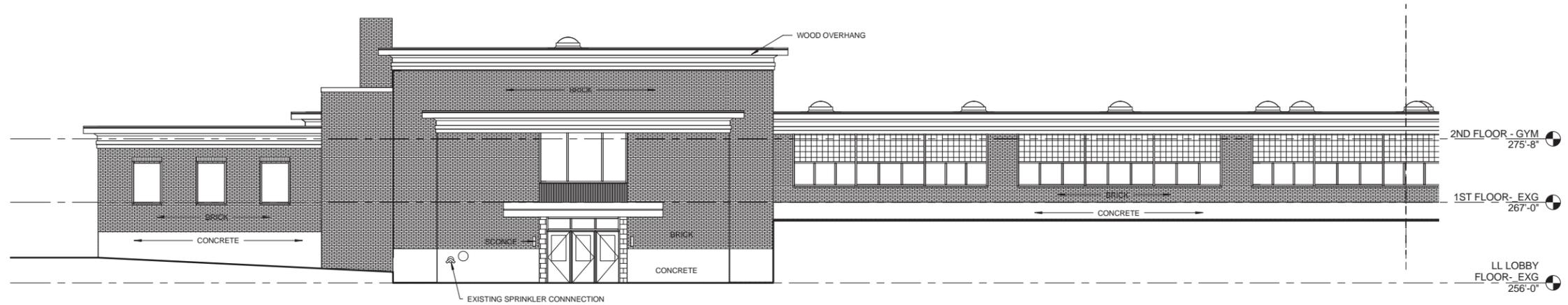
Date: 5 JUNE 2014
 Scale: 1/16" = 1'-0"
PROPOSED FLOOR LAYOUTS

A0.00



4 WEST FRONT ELEVATION - SOUTH OF MATCHLINE

1/8" = 1'-0" 0 4' 8' 16' 32'

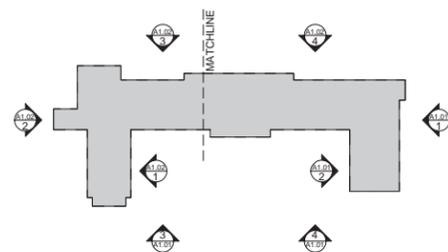


3 WEST FRONT ELEVATION - NORTH OF MATCHLINE

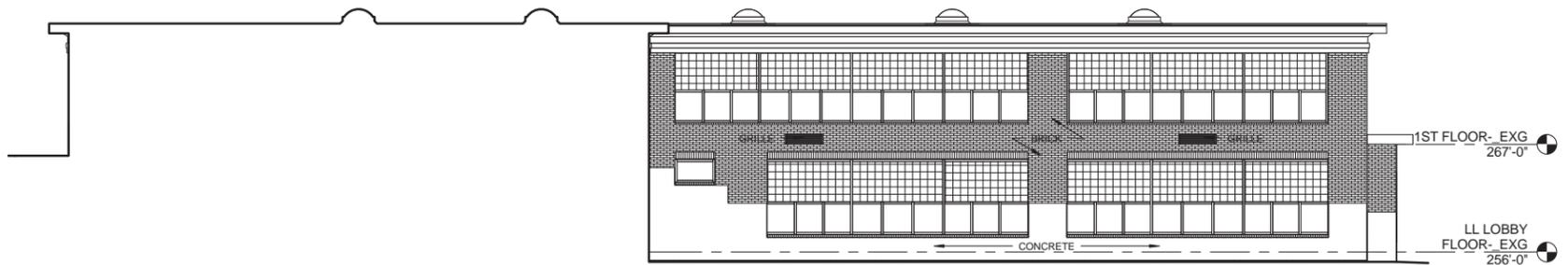
1/8" = 1'-0" 0 4' 8' 16'

GENERAL NOTES:

1. REPAIR ALL GLASS BLOCK. REPLACE AS NECESSARY
2. REPAIR & PAINT CORNICE
3. ALL NEW ENTRY DOORS TO MATCH ORIGINAL DOORS
4. REPLACE ALL EXISTING WINDOWS WITH NEW ALUMINUM & GLASS WINDOWS "IN KIND"
5. NEW WINDOWS IN ALL EXISTING PLYWOOD-COVERED MASONRY OPENINGS

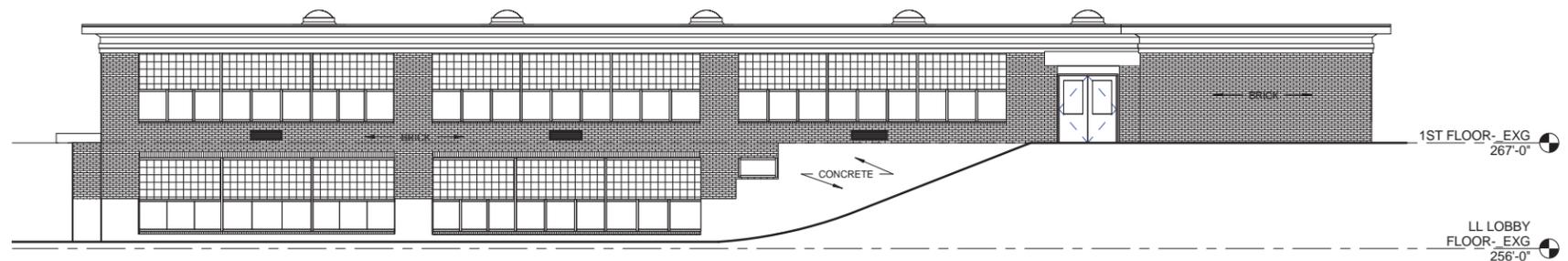


KEYPLAN



2 NORTH ELEVATION - SOUTH WING

1/8" = 1'-0" 0 4' 8' 16' 32'



1 SOUTH END ELEVATION - SOUTH OF MATCH LINE

1/8" = 1'-0" 0 4' 8' 16' 32'

Prepared For:

Consultant:

Architect:

Project:

Revisions:

Scale:

Date:

Issue Date:

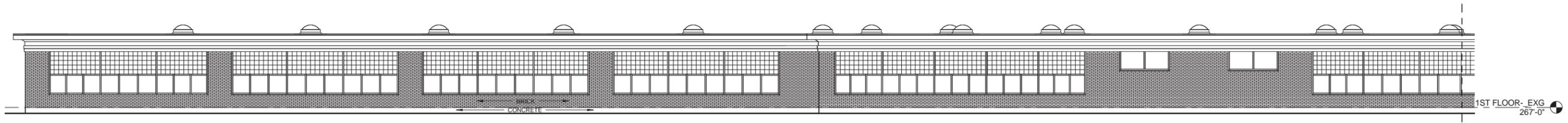
Address:
City, State

ARCHETYPE
architects
48 Union Wharf Portland, Maine 04101
(207) 724-6022 ARCHETYPE@ARCHETYPEPA.COM

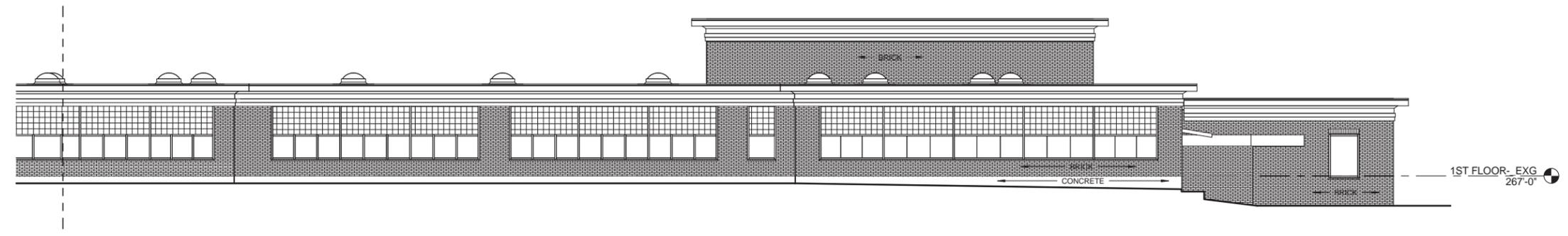
HODGKINS SCHOOL
APARTMENTS
AUGUSTA, MAINE

BUILDING ELEVATIONS

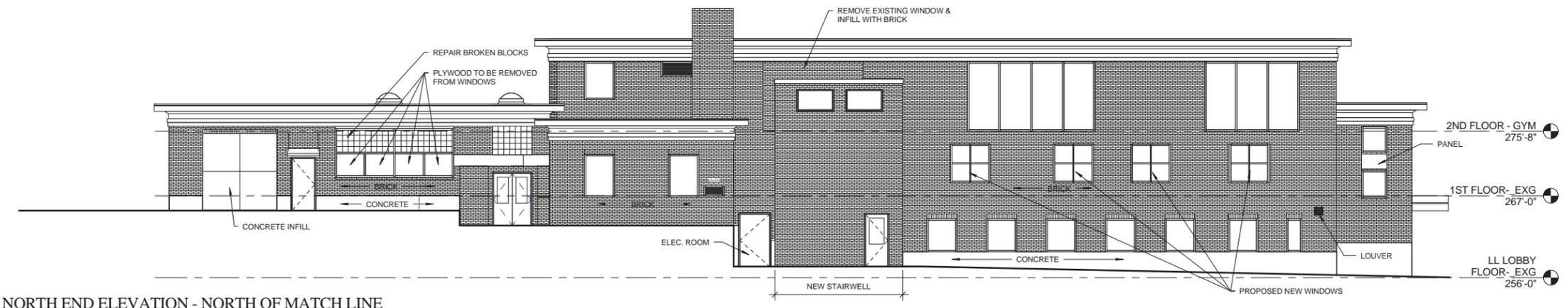
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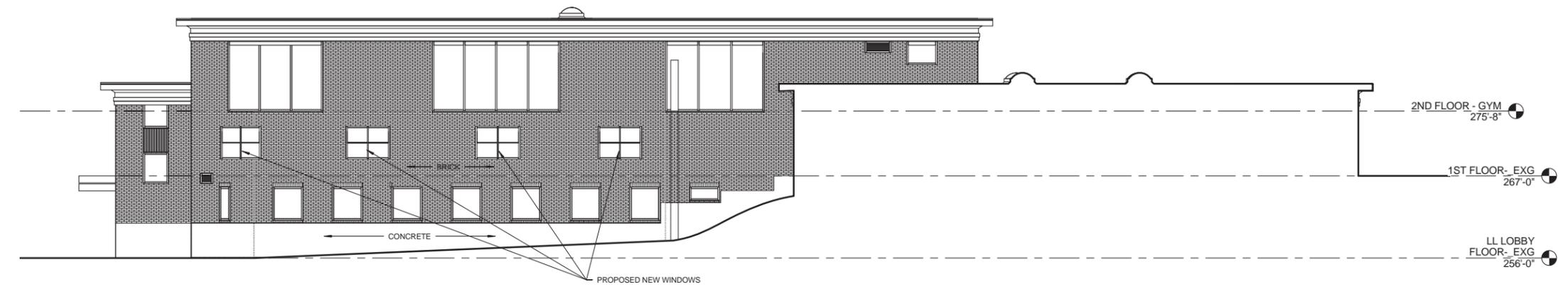
4 | EAST REAR ELEVATION - SOUTH OF MATCHLINE
1/8" = 1'-0"
0 2' 4' 8' 16'



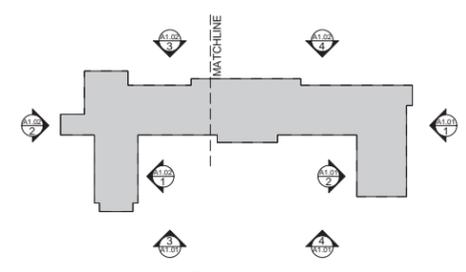
3 | EAST REAR ELEVATION - NORTH OF MATCHLINE
1/8" = 1'-0"
0 2' 4' 8' 16'



2 | NORTH END ELEVATION - NORTH OF MATCH LINE
1/8" = 1'-0"
0 2' 4' 8' 16'



1 | SOUTH ELEVATION - NORTH MULTI-PURPOSE WING
1/8" = 1'-0"
0 2' 4' 8' 16'



KEYPLAN

Prepared For:	
Consultant:	
Architect:	ARCHETYPE architects 48 Union Wharf Portland, Maine 04101 (207) 724-602 ARCHETYPE@ARCHETYPEPA.COM
Project:	HODGKINS SCHOOL APARTMENTS
Location:	AUGUSTA, MAINE
Revisions:	
Date:	Issue Date
Scale:	As indicated
BUILDING ELEVATIONS	
A0.06	